

OFFICIAL GAZETTE

REPUBLIC OF SEYCHELLES

Published by Authority of the Government

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| Vol. XLVIII | Monday 6 th November 2023 | No. 63 |
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| | Physical Planning (Control of Development of Land) Regulations, 2023. (S.I. 89 of 2023) | 168.00 |
| | Physical Planning (Land Use and Development Plans) Regulations, 2023. (S.I. 90 of 2023) | 128.00 |
| | Physical Planning (Development and Subdivision of Parcels) Regulations, 2023. (S.I. 91 of 2023) | 84.00 |
| | Physical Planning (Fees) Regulations, 2023. (S.I. 92 of 2023) | 32.00 |

GENERAL NOTICES

No. 1190 of 2023

CENTRAL BANK OF SEYCHELLES

Notice for Closing of Register of Transfers

6.5% Five Year DBS Bond (2019)

The Register of Transfers maintained at the Central Bank of Seychelles in respect of the above-mentioned bond will remain closed from November 06 to November 20, 2023.

Accordingly, no transfers of the aforesaid bonds will be registered during that period.

No. 1191 of 2023

CENTRAL BANK OF SEYCHELLES

Notice for Closing of Register of Transfers

5% Five Year PMC Bond

The Register of Transfers maintained at the Central Bank of Seychelles in respect of the above-mentioned bond will remain closed from November 06 to November 20, 2023.

Accordingly, no transfers of the aforesaid bonds will be registered during that period.

No. 1192 of 2023

CENTRAL BANK OF SEYCHELLES

Notice for Closing of Register of Transfers

7% Seven Year Treasury Bond**7% Seven Year 1770 Treasury Bond****10% Five Year Solidarity Bond****12% Seven Year Solidarity Bond**

The Register of Transfers maintained at the Central Bank of Seychelles in respect of the above-mentioned bonds will remain closed from November 06 to November 20, 2023.

Accordingly, no transfers of the aforesaid bonds will be registered during that period.

No. 1193 of 2023

ELECTIONS ACT**(Cap 262)**

Pursuant to its mandate under paragraph 1 of chapter 1 of schedule 3 to the Elections Act, the Electoral Commission is opening the following Registration Centre:

Office located at St. Matthew's church
Grand Anse Praslin

Opening Hours: 8:00am to 4:00pm
During weekdays only

Qualified citizens are invited to submit their applications for *registration as a voter, transfer, change of name, correction, or objections* at the registration centers.

Dated this 30th day of October, 2023.

Ms. Sheena Boniface
CHIEF REGISTRATION OFFICER

No. 1194 of 2023

INTERNATIONAL BUSINESS COMPANIES ACT*(Act 15 of 2016)***Sections 272(1)(b)(ii) and 272(2)(b)**

Notice is hereby given in accordance with section 272(2)(b) of the International Business Companies Act, 2016 (the Act) that the following companies will be struck off the register at the expiration of 60 days from the date of this publication, pursuant to section 272(1)(b)(ii) of the Act.

| <u>Company Name</u> | <u>IBC No.</u> |
|----------------------------|-----------------------|
| MELLONA LIMITED | 77219 |
| Mumuyu Technology Limited | 232371 |
| KIEPPE CORPORATION | 230988 |
| Marco Polo Marine Limited | 227082 |

Financial Services Authority

No. 1195 of 2023

INTERNATIONAL BUSINESS COMPANIES ACT*(Act 15 of 2016)***Section 272(4)**

Notice is hereby given pursuant to Section 272(4) of the International Business Companies Act, 2016 that the following companies have been struck off the register with effect from **31st October, 2023**.

| <u>Company Name</u> | <u>IBC No.</u> |
|----------------------------|-----------------------|
| Jade Belfort Limited | 227736 |
| Zorstam Business Ltd. | 208273 |
| TAYSIDE COMPANY LIMITED | 14390 |

Financial Services Authority

No. 1196 of 2023

LAND RECLAMATION NOTICE

Peter, Dorera Padayachy acting on his own behalf has applied for authority, under **Section 2** of Land Reclamation Act to fill in and reclaim an area of the foreshore of approximately **352** square meters at **Cascade**, (adjacent to the Parcel S1195).

The proposed to be reclaimed is bounded on the **Northern Western, Northern Eastern, Eastern and Southern Eastern Side** by Sea and **Southern Western** side by Parcel S1195.

The area to be reclaimed is demarcated as follows:

| POINT NAME | EASTINGS | NORTHINGS |
|-------------------|-----------------|------------------|
| (C) | 332836.37 | 9484788.18 |
| P1 | 332849.61 | 9484805.88 |
| P2 | 332858.63 | 9484777.01 |
| (B) | 332844.97 | 9484769.07 |
| (C) | 332836.37 | 9484788.18 |

All distances are approximate.

The plan of the area to be filled in and reclaimed deposited with this application, may be inspected at the Seychelles Planning Authority's Office at Independence House.

Any person having any objections to the proposed reclamation on any grounds specified in paragraph 5 of the 1st Schedule of the Act may lodge his or her objection in writing to the Chief Executive Officer Planning Authority at the Planning Authority's Office, Independence House no later than 14 days from date of the first publication of this notice.

Govin Pillay (MR)
Senior Engineer
FOR: CHIEF EXECUTIVE OFFICER

No. 1197 of 2023

JUDICIAL SALE

WARNING is hereby given that on the 6th December 2023 at 11am shall take place the sale and final adjudication before the Supreme Court of Seychelles the following immovable property situated at St Louis, Mahe, Seychelles, belonging to Mr Roy Delorie and Mrs Stella Delorie known as Parcel V3892, with all the buildings and plantations situated on it.

The sale is at the request of Development Bank of Seychelles of Victoria, Mahe, Seychelles.

All parties claiming a right to take Inscription of Legal Mortgage Against the said property are warned they must do so before the transcription of the judgment of adjudication, failing which they shall be debarred of such right.

Dated at Victoria, this 30th October, 2023.

KIERAN B. SHAH
Of Royal Street, Victoria
Attorney in charge of the sale

No. 1198 of 2023

LAND SURVEYOR NOTICE

The following survey has been lodged with the Director of Survey at Independence House, Victoria.

| Parcel No. | Owner | Location |
|------------|--------------------|-----------------------|
| PR7672 | Govt of Seychelles | Baie St Anne, Praslin |
| PR7673 | Govt of Seychelles | Baie St Anne, Praslin |
| PR7674 | Govt of Seychelles | Baie St Anne, Praslin |

Under Section 14 of the Land Survey Act (Cap. 109) any objection to the beacons and boundaries must be lodged in the Supreme Court within **two months** of the publication of this notice.

Government Surveyor

No. 1199 of 2023

NOTICE OF DISSOLUTION OF **Brainworks Digital Ltd**

In the matter of the International Business Companies Act of 2016 of the Republic of Seychelles we hereby inform that since 25th day of October 2023 the company **Brainworks Digital Ltd** is in the process of being dissolved as a company under the International Business Companies Act.

Dated this 30th day of October, 2023.

Elmarie Ibanez
55 Viviers Street Schoemansville
Hartbeespoort
0216
South Africa
Liquidator

No. 1200 of 2023

NOTICE

Notice is hereby given in pursuance of Section 96 of the Civil Status Act (Cap. 34) that the Chief Officer of the Civil Status has granted the under noted applications made under section 94 of Cap. 34.

Mr. Cedric Jason G. Charles authorized to change his name from Cedric Jason Gerard Charles to Cedric Jaron Charles and that of your children Tev Nick Domingue to Tev Dylan Charles and Deevon Tarik Jharon Domingue to Dyron Tarik Charles and Tillia Trisha Domingue to Tillia Trisha Charles and Ezequelle Andrio Pedro Jouaneau to Ezekiel Andrio Pedro Jouaneau.

Ms. Verma Suzanna W. Thelermont authorized to change her name from Verma Suzanna Waltina Thelermont to Verma Suzanna Waltina Schwarz.

Mr. David William Felton authorized to change his name from David William Felton to David William Horner Rhodes.

C. Roselie
For: Chief Officer of the Civil Status

No. 1201 of 2023

CHANGE OF NAME

Notice is hereby given that I have applied to the Chief Officer of the Civil Status to change my name from Winsley Michel Coopposamy to Winsley Michel Kuppusamy agreeable with sections 94-99 of Cap. 34. Any person interested may oppose such application by filing a protest in writing setting forth his/her grounds of objections.

Mr. Winsley Michel Coopposamy
St. Louis
Mahe

No. 1202 of 2023

CHANGE OF NAME

Notice is hereby given that I have applied to the Chief Officer of the Civil Status to change my name from Marie-Ange Raymonde Emmerite to Marie-Ange Raymonde Emerite agreeable with sections 94-99 of Cap. 34. Any person interested may oppose such application by filing a protest in writing setting forth his/her grounds of objections.

Ms. Marie-Ange Raymonde Emmerite
Anse La Mouche
Mahe

No. 1203 of 2023

CHANGE OF NAME

Notice is hereby given that I have applied to the Chief Officer of the Civil Status to change my name from H.N.M. Ralahamige Vishmith Dilusha Kanumale to Yohanie Kavindi Kanumale agreeable with sections 94-99 of Cap. 34. Any person interested may oppose such application by filing a protest in writing setting forth his/her grounds of objections.

Mr. Vishmith Dilusha Kanumale
Le Niole
Mahe

No. 1204 of 2023

CHANGE OF NAME

Notice is hereby given that I have applied to the Chief Officer of the Civil Status to change my name from H.N.D.M. Ralahamige Yohanie Kavindi Kanumale to Yohanie Kavindi Kanumale agreeable with sections 94-99 of Cap. 34. Any person interested may oppose such application by filing a protest in writing setting forth his/her grounds of objections.

Ms. Yohanie K. Kanumale
Le Niole
Mahe

No. 1205 of 2023

CHANGE OF NAME

Notice is hereby given that I have applied to the Chief Officer of the Civil Status to change my son's name from Kayden Mael Tirant to Kayden Mael Azemia agreeable with sections 94-99 of Cap. 34. Any person interested may oppose such application by filing a protest in writing setting forth his/her grounds of objections.

Mr. Romario Azemia
Anse Francois
Pointe Larue
Mahe

No. 1206 of 2023

NOTICES

INDUSTRIAL PROPERTY ACT

(Act 7 of 2014)

APPLICATIONS FOR REGISTRATION OF TRADE MARKS

Notice is hereby given that any person who has grounds of objection against the registration of any of the marks advertised in the Schedule hereto may, within 60 days from the date of this Notice, lodge a notice of objection in Form M-3 of Schedule 1 of the Industrial Property (Marks) Regulations, 2014 with the Registration Division, P.O. Box 142, Victoria, Seychelles.

SCHEDULE

Application No: **93/2023** in Class **38** with respect of Television broadcasting, cable television broadcasting, wireless broadcasting; cable television broadcasting; providing access to electronic publications, mail and news portal comprising news, editorials and opinions concerning current events; news agency services; transmission of news and current affairs information in the name of **The News Hub Limited of Office at 10th Floor, Building 7 Chiswick Park, 566 Chiswick High Road, London, W4 5YG, England.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

Lodged: **15/02/2023.**

Claiming the colours: Blue and Black.



Application No: **94/2023** in Class **41** Providing online electronic publications, not downloadable; providing electronic publications, not downloadable, from a global computer network or the Internet; providing news in the nature of current events reporting; publication of the editorial content of sites accessible via a global computer network; providing online information and news in the field of employment training; publishing of newspapers; publishing of magazines; publishing of periodicals; film production, other than advertising films in the name of **The News Hub Limited of Office at 10th Floor, Building 7 Chiswick Park, 566 Chiswick High Road, London, W4 5YG, England.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

Lodged: **15/02/2023.**

Claiming the colours: Blue and Black.



Application No: **132/2023** in Class **09** with respect of Batteries for electronic cigarettes; chargers for electronic cigarettes; electronic cigarette battery chargers; portable charging cases for electronic cigarettes and vaporizers; USB chargers for electronic cigarettes in the name of **UNITED CASTLE INTERNATIONAL COMPANY LIMITED** of **FLAT/RM 3101, 31/F, OFFICE TOWER CONVENTION PLAZA, 1 HARBOUR ROAD, WANCHAI, HONG KONG.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

MOK SENSIO

Lodged: **03/03/2023.**

Application No: **133/2023** in Class **11** with respect of Electronic vaporizers; apparatus for heating liquid; apparatus for generating vapor, wired vaporizers; apparatus for use in vaporizing in the name of **UNITED CASTLE INTERNATIONAL COMPANY LIMITED** of **FLAT/RM 3101, 31/F, OFFICE TOWER CONVENTION PLAZA, 1 HARBOUR ROAD, WANCHAI, HONG KONG.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

MOK SENSIO

Lodged: **03/03/2023.**

Application No: **134/2023** in Class **34** with respect of Tobacco raw or manufactured; cigars; cigarettes; cigarillos; roll your own tobacco; tobacco pipes; chewing tobacco; snuff tobacco; tobacco substitutes (not for medical purposes); cigarettes containing tobacco substitutes, not for medical purposes; smoker's articles; cigarette paper and tubes; cigarette filters; tobacco tins; cigarette cases; ashtrays not of precious metals their alloys or coated therewith; pipes; pocket apparatus for rolling cigarettes; lighters; matches; absorbent paper for tobacco pipes; books of cigarette papers; cigar cutters; electronic cigarettes; firestones; flavourings, other than essential oils, for tobacco / flavorings, other than essential oils, for tobacco; flavorings, other than essential oils, for tobacco substitutes; herbs for smoking; humidors; liquid solutions for use in electronic cigarettes; mouthpieces for cigarette holders; oral vaporizers for smokers; spittoons for tobacco users; tips of yellow amber for cigar and cigarette holders; pipe cleaners for tobacco pipes; matches; gas containers for cigar lighters; nicotine-based liquid solutions, namely, liquid nicotine solutions for use in used to refill electronic cigarettes; cartridges sold filled with liquid nicotine in liquid form for electronic cigarettes; cartridges for electronic cigarettes; refill cartridges for electronic cigarettes; chemical flavorings in liquid form used to refill electronic cigarettes; cartridges sold filled with chemical flavorings in liquid form for electronic cigarettes; refill cartridges sold empty for electronic cigarettes; electric vaporizers, namely, smokeless vaporizer pipes for the ingestion and inhalation of tobacco and other herbal matter; components for electric and electronic cigarettes and oral vaporizers for smokers, namely atomisers, cartomisers and clearomisers sold empty for tobacco substitutes in the name of **UNITED CASTLE INTERNATIONAL COMPANY LIMITED** of **FLAT/RM 3101, 31/F, OFFICE TOWER CONVENTION PLAZA, 1 HARBOUR ROAD, WANCHAI, HONG KONG.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

MOK SENSIO

Lodged: **03/03/2023.**

Application No: **135/2023** in Class **09** with respect of Wholesale and retail services for cigarettes, electronic cigarettes, tobacco; advertising; business management; business administration; official functions in the name of **UNITED CASTLE INTERNATIONAL COMPANY LIMITED** of **FLAT/RM 3101, 31/F, OFFICE TOWER CONVENTION PLAZA, 1 HARBOUR ROAD, WANCHAI, HONG KONG.**

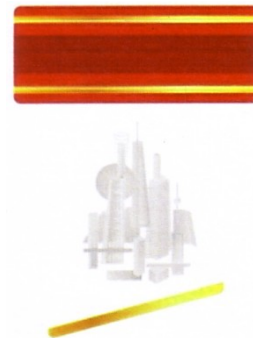
Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

MOK SENSIO

Lodged: **03/03/2023.**

Application No: **410/2023** in Class **33** with respect of Alcoholic beverages (with the exception of beers); spirits; vodka; vodka-based beverages in the name of **ST 1 IP Sàrl** of **Avenue Reverdil 14, 1260 Nyon, Switzerland.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



Lodged: **30/08/2023.**

Claiming colours: Red, gold, black, light grey, dark grey.

Application No: **420/2023** in Class **36** with respect of Financial services; banking services; monetary transfer; payment services; automated banking services; home banking; Internet banking; savings services; bill payment services; payment and credit services; credit card, debit card, charge card, cash card and bank card services; cash management; safe deposit services; bankers' clearing services; account debiting services; escrow services; cheque encashment services; credit brokerage; automatic cash dispensing services, automatic teller machine services; insurance services; financing of loans; loans (financial) against security; financial investment services; capital investment services; trustee services; financial management services; brokers and agents (for bonds and other securities); financial consultation services; investment advice; financial guarantees (surety services); financial analysis and providing reports; financial information services; financial research services; financing services (securing funds for others); financial advisory services; provision of financial and/or credit information; administration of financial affairs; computerised financial services; advice and enquiries regarding credit; provision of credit; acceptance of deposits; discount of bills (notes); domestic remittance, liability guarantee, acceptance of bills, lending securities, acquisition and transfer of monetary claims; trustee services; trusteeship of money; futures contracts; securities, monetary claims, personal property, land, land fixture surface rights and land leasing rights; money exchange, foreign exchange transactions, currency exchange services, travellers cheque services; letter of credit-related business, securities trading, index futures, securities options, overseas market securities futures, underwriting securities, selling securities, handling subscriptions and offerings of securities, providing stock market information, life insurance brokerage, life insurance underwriting, agencies for non-life insurance, claim adjustment for non-life insurance, non-life insurance underwriting, insurance actuarial services; mortgage services; sponsorship of sports, sports teams and sporting events; advisory, consultancy and information services relating to all of the aforesaid services; information relating to economic (finance related) services provided on-line (not downloadable); information relating to financial, banking, insurance and investment services provided on-line (not downloadable) in the name of **IP HOLDINGS (ANTIGUA) LIMITED** of **The Ursula Jones Building, Coolidge, St. John's, P.O. Box 3511, Antigua & Barbuda.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



Lodged: **08/09/2023**.

Claiming colour: green, purple and orange.

Application No: **425/2023** in Class **18** with respect of Tote bags, beach bags in the name of **VA International, LLC**, of **610 Uhler Road Easton, Pennsylvania 18040, U.S.A.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

VITAMIN A

Lodged: **13/09/2023**.

Application No: **426/2023** in Class **25** with respect of Swimwear, bikinis, swimsuits, corp tops, tops as clothing, shirts, bandeau tops, sweaters, skirts, shorts, pants, dresses, caftans, blouses, t-shirts, sarongs, coverups, hats in the name of **VA International, LLC**, of **610 Uhler Road Easton, Pennsylvania 18040, U.S.A.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

VITAMIN A

Lodged: **13/09/2023**.

Application No: **427/2023** in Class **30** with respect of Coffee; Coffee-based beverages; Coffee beverages with milk; Instant coffee; Roasted coffee beans; Cocoa; Tea; Iced tea; Tea-based beverages; Sugar; Confectionery; Bread; Cereal-based snack food; Biscuits; Popcorn; Pasta; Essences for foodstuffs, except etheric essences and essential oils; Fruit vinegar; Seasonings; Coffee flavourings in the name of **Luckin Coffee Group Co., Ltd.** of **28th Floor, Building T3, Haixi Jingu Plaza, 1-3 Taibei Road, Siming District, Xiamen City, Fujian Province, China.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



luckin coffee

Lodged: **13/09/2023**.

Claiming colours: Blue, black and white.

Application No: **428/2023** in Class **43** with respect of Canteen services; Bar services; Coffee and catering services; Café services; Teahouse services; Snack-bar services; Take-away restaurant services; Cafeteria services; Accommodation bureau services [hotels, boarding houses]; Providing of food and drink via a mobile truck; Food sculpting; Rental of transportable buildings; Rental of tableware; Rental of chairs, tables, table linen, glassware; Rental of cooking apparatus; Rental of drinking water dispensers; Rental of robots for preparing beverages in the name of **Luckin Coffee Group Co., Ltd.** of **28th Floor, Building T3, Haixi Jingu Plaza, 1-3 Taibei Road, Siming District, Xiamen City, Fujian Province, China.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

Lodged: **13/09/2023.**

Claiming colours: Blue, black and white.



Application No: **429/2023** in Class **01** with respect of Cooling liquids for internal combustion engines, brake fluids; chemical refining supplements for diesel, engine and gear oils, chemical refining supplements for fuels; refining preparations for car radiators, ignition preparations for engine; waterproof, mineral, and fast drying adhesives, other than for stationery and household use; silicones and repair kits with basic ingredients in the form of adhesive and/or silicone; fillers; preparations for protecting rubber and artificial and natural leather and plastic elements in the name of **ZNAK ZOFA Spółka z ograniczona odpowiedzialnością spółka komandytowa** of **Stary Staw 9, 63-400 Ostrów Wielkopolski, POLAND.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

Lodged: **15/09/2023.**



Application No: **430/2023** in Class **02** with respect of Lacquers; bases for lacquers in the name of **ZNAK ZOFA Spółka z ograniczona odpowiedzialnością spółka komandytowa** of **Stary Staw 9, 63-400 Ostrów Wielkopolski, POLAND.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

Lodged: **15/09/2023.**



Application No: **431/2023** in Class **03** with respect of Cleaning, polishing, scouring and abrasive preparations; preparations for cleaning the external and internal surfaces of vehicles, cosmetic kits for cars; preparations for renovation of lacquer, including waxes, silicon milks; abrasive pastes, papers and materials for removing scratches; car shampoos, preparations for cleaning, washing, polishing and waxing of motor vehicles and their parts; preparations for washing, cleaning and glittering of vehicle interiors; liquids for car window sprayers; preparations for washing and protecting hands against substances related to motor vehicles; car fragrances in the name of **ZNAK ZOFA Spółka z ograniczona odpowiedzialnością spółka komandytowa** of **Stary Staw 9, 63-400 Ostrów Wielkopolski, POLAND.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

Lodged: **15/09/2023.**



Application No: **432/2023** in Class **04** with respect of Car oils, diesel oils and engine oils, gearbox oils, industrial oils and fats; non chemical additives for refining engine oils, namely non chemical additives for improving the parameters of combustion engines; lubricants, dust

absorbing, wetting and binding compositions; fuels (including motor spirit) and illuminants; candles and wicks for lighting in the name of **ZNAK ZOFA Spółka z ograniczona odpowiedzialnością spółka komandytowa** of Stary Staw 9, 63-400 Ostrów Wielkopolski, POLAND.

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



Lodged: 15/09/2023.

Application No: **433/2023** in Class **05** with respect of Preparations for disinfecting air-conditioning systems of motor vehicles in the name of **ZNAK ZOFA Spółka z ograniczona odpowiedzialnością spółka komandytowa** of Stary Staw 9, 63-400 Ostrów Wielkopolski, POLAND.

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



Lodged: 15/09/2023.

Application No: **434/2023** in Class **34** with respect of Tobacco products [luxury products], in particular cigarettes and filter cigarettes; cigars and cigarillos; Articles for use with tobacco; matches; tobacco sticks; Tobacco products for the purpose of being heated; electrical and electronic devices for heating tobacco products, in particular tobacco sticks, as well as tobacco substitutes; electric cigarettes; electronic cigarettes; cigarette cases; cleaning devices and cleaning brushes for electric and electronic cigarettes; liquid solutions and liquid solutions with nicotine for electric and electronic cigarettes; ashtrays in the name of **KONCI Marketing GmbH** of **Baerler Straße 100 47441 Moers, Germany**.

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

ORIS

Lodged: 15/09/2023.

Application No: **435/2023** in Class **09** with respect of Computer software, computer programs, computer software platforms and Apps all relating to financial information, financial investments, stocks and shares trading and exchange, derivatives trading and exchange, crypto currency, crypto trading and exchange, digital assets, digital assets trading and exchange, NFTs, payment services and e-wallet services; electronic publications in the field of financial information, financial investments, stocks and shares trading and exchange, derivatives trading and exchange, crypto currency, crypto trading and exchange, digital assets, digital assets trading and exchange, NFTs, payment services and e-wallet services; computer software for providing a remote platform for use and communication between desktop, mobile and tablet devices and a central location; computer software platforms, software for computer platforms, computer platforms and computer network platforms for financial trading including trading in stocks and share, derivatives, ETFs, ETPs, CFDs, NDFs, OTC transactions, private placements, futures, options, equities, spreadbets, foreign exchange, spot FX, sport meats, crypto currency, crypto assets, digital assets and NFTs; computer software platforms, software for computer platforms, computer platforms and computer network platforms to enable e-wallet payment services, financial transactions and payment services; computer software for financial reporting, financial

investment, financial exchange, financial trading, financial management and financial transactions services; downloadable electronic publications, educational courses and webinars relating to financial information, financial investments, stocks and shares trading and exchange, derivatives trading and exchange, crypto currency, crypto trading and exchange, digital assets, digital assets trading and exchange, NFTs, payment services and e-wallet services; ewallets; payment cards, debit cards and credit cards; electronic publications in the name of **Green Island LLC of First Floor, First St Vincent Bank Ltd Building, James Street, Kingstown Saint Vincent & The Grenadines.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



Lodged: **15/09/2023.**

Application No: **436/2023** in Class **36** with respect of Financial services; financial trading services; online brokerage services; financial brokerage services; international commodity trading and exchanges services for others; integration futures exchange services; international stock exchange price quotation; international financial exchange and monetary services; foreign currency exchange and advice; integration financial clearing house services; trading and exchange services in the field of derivatives, ETFs, ETPs CFDs, NDFs, OTC transactions, private placements, spreadbets, stocks, shares, futures, options, equities, foreign exchange, spot FX and spot metals; trading and exchange services in the field of crypto currency and crypto assets; trading and exchange services in the field of digital assets and NFTs; trading and exchange in other exchange traded products; credit card, debit card, charge card and payment card services; financial information services; e-wallet services; payment transaction services; electronic payment services; e-wallet payment services; including but not limited to all the aforesaid services provided via telecommunications networks, electronic platforms, electronic networks, the Internet, websites and digital platforms; provision of information, consultancy and advice relating to the aforesaid in the name of **Green Island LLC of First Floor, First St Vincent Bank Ltd Building, James Street, Kingstown Saint Vincent & The Grenadines.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



Lodged: **15/09/2023.**

Application No: **437/2023** in Class **41** with respect of Education, training and entertainment in the field of financial services, monetary services, financial trading, financial brokerage, commodity and exchange services; provision of information, consultancy and advice relating to all the aforesaid in the name of **Green Island LLC of First Floor, First St Vincent Bank Ltd Building, James Street, Kingstown Saint Vincent & The Grenadines.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles



Lodged: **15/09/2023.**

Application No: **438/2023** in Class **9** with respect of Computer software, computer programs, computer software platforms and Apps all relating to financial information, financial investments, stocks and shares trading and exchange, derivatives trading and exchange, crypto

currency, crypto trading and exchange, digital assets, digital assets trading and exchange, NFTs, payment services and e-wallet services; electronic publications in the field of financial information, financial investments, stocks and shares trading and exchange, derivatives trading and exchange, crypto currency, crypto trading and exchange, digital assets, digital assets trading and exchange, NFTs, payment services and e-wallet services; computer software for providing a remote platform for use and communication between desktop, mobile and tablet devices and a central location; computer software platforms, software for computer platforms, computer platforms and computer network platforms for financial trading including trading in stocks and share, derivatives, ETFs, ETPs, CFDs, NDFs, OTC transactions, private placements, futures, options, equities, spreadbets, foreign exchange, spot FX, sport meats, crypto currency, crypto assets, digital assets and NFTs; computer software platforms, software for computer platforms, computer platforms and computer network platforms to enable e-wallet payment services, financial transactions and payment services; computer software for financial reporting, financial investment, financial exchange, financial trading, financial management and financial transactions services; downloadable electronic publications, educational courses and webinars relating to financial information, financial investments, stocks and shares trading and exchange, derivatives trading and exchange, crypto currency, crypto trading and exchange, digital assets, digital assets trading and exchange, NFTs, payment services and e-wallet services; ewallets; payment cards, debit cards and credit cards; electronic publications in the name of **Green Island LLC of First Floor, First St Vincent Bank Ltd Building, James Street, Kingstown Saint Vincent & The Grenadines.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

TRADU

Lodged: **15/09/2023.**

Application No: **439/2023** in Class **36** with respect of Financial services; financial trading services; online brokerage services; financial brokerage services; international commodity trading and exchanges services for others; integration futures exchange services; international stock exchange price quotation; international financial exchange and monetary services; foreign currency exchange and advice; integration financial clearing house services; trading and exchange services in the field of derivatives, ETFs, ETPs CFDs, NDFs, OTC transactions, private placements, spreadbets, stocks, shares, futures, options, equities, foreign exchange, spot FX and spot metals; trading and exchange services in the field of crypto currency and crypto assets; trading and exchange services in the field of digital assets and NFTs; trading and exchange in other exchange traded products; credit card, debit card, charge card and payment card services; financial information services; e-wallet services; payment transaction services; electronic payment services; e-wallet payment services; including but not limited to all the aforesaid services provided via telecommunications networks, electronic platforms, electronic networks, the Internet, websites and digital platforms; provision of information, consultancy and advice relating to the aforesaid in the name of **Green Island LLC of First Floor, First St Vincent Bank Ltd Building, James Street, Kingstown Saint Vincent & The Grenadines.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

TRADU

Lodged: **15/09/2023.**

Application No: **440/2023** in Class **41** with respect of Education, training and entertainment in the field of financial services, monetary services, financial trading, financial brokerage, commodity and exchange services; provision of information, consultancy and advice relating to all the aforesaid in the name of **Green Island LLC of First Floor, First St Vincent Bank Ltd**

Building, James Street, Kingstown Saint Vincent & The Grenadines.

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

TRADU

Lodged: **15/09/2023.**

Application No: **474/2023** in Class **9** with respect of Computers; handheld computers; tablet computers; computer hardware; telecommunications apparatus and instruments; mobile telephones; smartphones; wireless communication devices for providing access to the Internet and sending, receiving, and transmitting data, images, audio, video, and multimedia content; handheld digital electronic devices for providing access to the Internet and sending, receiving, and storing telephone calls, voice messages, electronic mail, data, images, audio, video, and multimedia content; wearable computer hardware; wearable computers; wearable activity trackers; smartwatches; smart rings; smartglasses; telecommunication apparatus in the form of jewelry; connected bracelets; helmets; sound transmission and reproducing apparatus; audio speakers; smart speakers; home automation hubs; smart home hubs; voice recognition apparatus; microphones; personal digital assistants; earbuds; earphones; headphones; headsets; earpieces for remote communication; ear pads for headphones; digital media streaming devices; set top boxes; computer hardware for transmitting and enabling the viewing of audio, video, television, movies, digital images and other multimedia content; electronic book readers; network communication apparatus; portable media players; computer peripheral devices; peripheral devices for computers, smartphones, smartwatches, smartglasses, smart rings, smart speakers, smart home hubs, headphones, earbuds, headsets, televisions, handheld digital electronic devices, and audio and video players; wearable peripherals for use with computers, smartphones, smartwatches, smartglasses, smart rings, smart speakers, smart home hubs, headsets, televisions, set top boxes, handheld digital electronic devices, and audio and video players; virtual reality headsets, goggles, glasses, controllers, remotes and displays; augmented reality headsets, goggles, glasses, controllers, remotes and displays; wearable peripherals for playing video games; controllers for use with interactive digital multimedia content; 3D spectacles; eyewear; eyeglasses; sunglasses; optical glass; optical goods; optical apparatus and instruments; optical lenses; eyeglass cases; eyeglass cords; eyeglass frames; eyeglass lenses; contact lenses; containers for contact lenses; correcting lenses; eyepieces; instruments containing eyepieces; video monitors; computer monitors; display screens; head-mounted displays; wearable display screens; televisions; television receivers and monitors; interactive touchscreens; interfaces for computers, smartphones, smartwatches, smartglasses, televisions, and handheld digital electronic devices; electronic display screens for computers, smartphones, smartwatches, smartglasses, televisions, handheld digital electronic devices, and audio and video players; keyboards; mice; mouse pads; printers for computers; computer stylus; electronic pens; wireless tracking devices for locating items; electronic tags for goods; NFC enabled devices, readers, tags, cards, and stickers; smart cards; encoded identification bracelets; encoded key cards; electronic key fobs as a remote control apparatus; computer peripherals used to locate, monitor, and track items; cameras; mobile phone cameras; smartphone camera lens; flashes for smartphones; computer chips; integrated circuits; biometric identification and authentication apparatus; fingerprint examination machines; face recognition apparatus; fingerprint scanners; biometric scanners; biometric iris scanners; biometric locks; remote controls for controlling computers, mobile telephones, wearable peripherals, smartwatches, smart speakers, smartglasses, earphones, headphones, headsets, audio and video players, televisions, set top boxes, handheld digital electronic devices, audio and video players, and home entertainment systems; disk drives; hard drives; computer memory devices; data storage apparatus; data processing apparatus; magnets; humanoid robots with artificial intelligence; analog-to-digital converters; internet servers; encoding and decoding devices; security tokens; 3D scanners; digital input and output scanners; radio transmitters and receivers; global positioning system (GPS apparatus); user interfaces for on-board motor vehicle computers; navigation apparatus for vehicles; hands-free kits for telephones; head-up display apparatus for vehicles; in-car telephone handset cradles; dashboard mats adapted for holding mobile

telephones and smartphones; motor vehicle audio apparatus; voice command and recognition apparatus; satellite navigational apparatus; satellite communication apparatus; equipment for receiving, processing and transmitting voice, video, data and location information through satellites; electric batteries for vehicles; charging stations for electric vehicles; keyless vehicle entry and ignition apparatus; parts and accessories for computers, computer peripherals, mobile electronic devices, mobile telephones, smartphones, smartwatches, smartglasses, smart speakers, smart home hubs, earphones, earbuds, headphones, headsets, audio and visual players and wearable hardware; batteries; solar batteries; rechargeable batteries; battery chargers; portable power chargers; wireless battery chargers; battery chargers for computers, computer peripherals, mobile phones, smartphones, smartwatches, smartglasses, smart speakers, smart home hubs, earphones, earbuds, headphones, headsets, handheld digital electronic devices, and audio and visual players; wireless chargers for computers, computer peripherals, mobile phones, smartphones, smartwatches, smartglasses, smart speakers, smart home hubs, earphones, earbuds, headphones, headsets, handheld digital electronic devices, and audio and visual players; charging apparatus for computers, computer peripherals, mobile telephones, smartphones, smartwatches, smartglasses, smart speakers, smart home hubs, earphones, earbuds, headphones, headsets, handheld digital electronic devices, and audio and visual players; charging mats and charging cases adapted for computers, computer peripherals, mobile telephones, smartphones, smartwatches, smartglasses, earphones, earbuds, headphones, headsets, handheld digital electronic devices, and audio and visual players; power adapters; electrical and electronic connectors, couplers, wires, cables, chargers, docks, docking stations, and adapters for use with computers, computer peripherals, wearable electronic devices, mobile telephones, smartphones, smartwatches, smartglasses, smart home hubs, earphones, headphones, headsets, audio and video players, televisions, and set top boxes; chargers for electric batteries; chargers for electronic cigarettes; stands for computer monitors, computer peripherals, tablet computers, laptops, mobile telephones, smartphones, smartwatches, smartglasses, smart speakers, smart home hubs, earphones, headphones, televisions, set top boxes, handheld digital electronic devices, and audio and video players; bags, covers, cases, sleeves, straps, lanyards and holders for computers, computer peripherals, mobile telephones, smartphones, smartwatches, smartglasses, smart rings, smart speakers, smart home hubs, earphones, earbuds, headphones, headsets, handheld digital electronic devices, and audio and video players; screen protectors for computer monitors, computer screens, mobile telephones, smartphones, smartwatches, smartglasses, televisions, and handheld digital electronic devices; protective films for computers, mobile telephones, smartphones, smartwatches, smart glasses, televisions, and handheld digital electronic devices; selfie sticks; selfie lenses; selfie ring lights for smartphones, computers, laptop computers, and tablet computers; cooling pads for laptop computers; computer hardware for use in controlling home automation systems, including lighting, appliances, heating and air conditioning, door bells and security alarms; electronic voice activated and voice recognition apparatus for controlling consumer electronics devices and residential systems; climate control systems consisting of heating control devices; thermostats; monitors, sensors, and controls for air conditioning, heating, and ventilation devices and systems; lighting control apparatus; electrical outlets; electrical and electronic switches; alarms, alarm sensors, and alarm monitoring systems; smoke and carbon monoxide detectors; electric and electronic locks and latches for doors and windows; electric and electronic keypads and controls for garage doors; residential security and surveillance apparatus and systems; computer software; computer software for setting up, configuring, operating, and controlling computers, computer peripherals, smartphones, smartwatches, smartglasses, smart rings, smart speakers, smart home hubs, earbuds, headphones, headsets, handheld digital electronic devices, televisions, set top boxes, audio and video players, and home entertainment systems; gesture recognition software; voice recognition software; image recognition software; facial recognition software; biometric identification software; application development software; computer software for use as an application programming interface (API) for building software applications; software for processing, transmitting and displaying text, data, images, audio, audio visual content, and other multimedia content; software for sending and receiving electronic messages, alerts, notifications and reminders; computer game software; video game programs; virtual reality software; augmented reality software; software for navigating virtual reality and augmented reality environments; software for use in enabling computers, mobile devices, and mobile telephones to provide virtual reality and augmented reality experiences;

downloadable virtual goods, namely, computer programs featuring electronics, headphones, eyewear, clothing, footwear, headwear, jewelry, cosmetics, beverages, sporting equipment, vehicles, and toys for use in online virtual worlds; computer software for providing geographic information, interactive maps and satellite and aerial images; downloadable e-wallets; computer software for facilitating commercial transactions through mobile telecommunication devices; downloadable audio files, image files, video files, music files and multimedia content; downloadable audio and visual recordings, podcasts, books, periodicals, musical recordings, movies, films and television shows; downloadable screen savers for computers, telephones, and smart watches; downloadable emoticons; downloadable computer graphics; downloadable ring tones; downloadable typeface fonts in the name of from **Apple Inc. of One Apple Park Way Cupertino, California 95014, USA.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

IPADOS

Lodged: **29/09/2023.**

Application No: **456/2023** in Class **09** with respect of Scientific, research, navigation, surveying, photographic, cinematographic, audio visual, optical, weighing, measuring, signalling, detecting, testing, inspecting, life-saving and teaching apparatus and instruments; apparatus and instruments for conducting, switching, transforming, accumulating, regulating or controlling the distribution or use of electricity; apparatus and instruments for recording, transmitting, reproducing or processing sound, images or data; recorded and downloadable media, computer software, blank digital or analogue recording and storage media; mechanisms for coin-operated apparatus; cash registers, calculating devices; computers and computer peripheral devices; diving suits, divers' masks, ear plugs for divers, nose clips for divers and swimmers, gloves for divers, breathing apparatus for underwater swimming; fire-extinguishing apparatus; computer software applications; artificial intelligence software for healthcare; machine learning software for healthcare; software applications for use in financial services; software relating to the handling of financial transactions; computer e-commerce software to allow users to perform electronic transactions via a global computer network; software for sending electronic message alerts and reminders via the internet; computer programs for financial management; computer programs relating to financial matters; payment software; apparatus for receiving cash payments; electronic financial transaction apparatus; mechanisms for pre-payment apparatus; machines for executing remote financial transactions; automatic access security apparatus; data security apparatus; software for generating virtual images; machine readable devices for cashless payment systems; automatic access control systems; computer communications software to allow customers to access bank account information and transact bank business; interface software; virtual assistant software in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **457/2023** in Class **16** with respect of Paper and cardboard; printed matter; bookbinding material; photographs; stationery and office requisites, except furniture; adhesives for stationery or household purposes; drawing materials and materials for artists; paintbrushes; instructional and teaching materials; plastic sheets, films and bags for wrapping and packaging; printers' type, printing blocks; printed matter representing monetary value or for financial purposes; financial documents; financial planning guides; printed publications relating to

financial services; newsletters relating to financial matters in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **458/2023** in Class **35** with respect of Advertising; business management, organization and administration; office functions; offering for sale and the sale of goods in the retail and wholesale trade; retail and wholesale services, including online retail services; financial auditing services; compilation of business and commercial information; collection of commercial information; provision of information relating to commerce; accounting services; preparation of accounts and statements of accounts; tax services; computerised payroll preparation; payroll advisory services; payroll preparation services; invoicing services; business administration and consultation services; compiling indexes of information for customers to access and view; the bringing together, for the benefit of others, of a variety of goods, enabling customers to conveniently view and purchase those goods; consumer response analysis; providing consumer product advice; providing consumer product recommendations; rewards programs; consumer loyalty services for commercial, promotional, and/or advertising purposes; administration of loyalty programs involving discounts or incentives; charitable services, namely business management and administration; charitable services, namely organising and conducting volunteer programmes and community service projects (management services); charitable services, namely the recruitment, organisation and deployment of volunteers; arranging promotion of charitable fundraising events; developing and coordinating volunteer projects for charitable organisations (management services); promotional services, namely, promoting the charities of others; charitable services, namely, coordination of non-monetary contributions to charities and non-profit organisations (management services); promoting awareness of the benefits of making health, wellness and nutritional changes in daily living to enable businesses to increase productivity and lower health care costs; vocational guidance and advisory services; career counselling and planning services; job placement services; personnel recruitment in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **459/2023** in Class **36** with respect of Financial, monetary and banking services; insurance services; real estate services; facilitating or arranging financial transactions; financial advisory services; merchant banking; electronic debit transactions; electronic credit transactions; online financial transactions; financial transfers and transactions and payment services; electronic banking; conducting cashless payment transactions; payment processing services; processing of payments for banks; automated payment services; payment administration services; contactless payment services; loyalty program payment processing services; providing cash and other rebates for use as part of a customer loyalty program; issuing of tokens of value in relation to customer loyalty schemes; charitable collections; charitable fundraising; charitable services, namely, financial services; investment of funds for charitable purposes; providing information relating to charitable fundraising; charitable fundraising by means of directing a portion of customer's fees to a charity of customer's choice; charitable fundraising services by means of a website where donors search for and make monetary donations to specific charities or projects; charitable fundraising by means of entertainment

events in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **460/2023** in Class **38** with respect of Telecommunications services; providing access to computer databases; computer and mobile communication services; providing online forums; providing online chatrooms for the transmission of messages and multimedia content among users; instant messaging services; Internet portal services; internet portal services for the purpose of facilitating banking or financial transactions in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **461/2023** in Class **39** with respect of Transport; packaging and storage of goods; travel arrangement; transport of money; car rental services in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria
Mahe, Seychelles

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **462/2023** in Class **41** with respect of Education; providing of training; entertainment; sporting and cultural activities; charitable services; charitable services, including academic mentoring, education and training; arranging and conducting of entertainment events, sports events and educational events for charitable purposes; coaching and training services; life coaching services; coaching relating to finance; providing group coaching and in-person learning forums; mentoring (education and training); business mentoring services; mentoring and support services; education courses relating to finance; health and wellness training; arranging and conducting online workshops in the field of wellness; conducting fitness classes as part of a wellness programme; education services, namely, providing seminars and panel discussions in the field of exercise, fitness, wellness, personal development, sleep and stress management; providing online electronic publications and videos; provision of education services via an online forum; organisation of games and competitions; publication of educational materials; business educational services; business training consultancy services; business training services; mentoring; conducting of business conferences; coaching relating to finance; training services relating to finance; courses relating to finance in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.** in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14

**Victoria
Mahe, Seychelles**

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **463/2023** in Class **42** with respect of Scientific and technological services and research and design relating thereto; industrial analysis, industrial research and industrial design services; quality control and authentication services; design and development of computer hardware and software; design of information systems relating to finance; operation of websites and online transactional platforms; authentication services; computer and technology services for data encryption; electronic monetary and financial transaction monitoring; user authentication services using technology for e-commerce transactions in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd
P.O. Box 14
Victoria
Mahe, Seychelles**

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **464/2023** in Class **44** with respect of Medical services; veterinary services; hygienic and beauty care for human beings or animals; agriculture, aquaculture, horticulture and forestry services; life coaching being psychological and counselling services; health care services, namely, wellness programs; health counselling services; mental health services; providing mental health and wellness information; medical screening as part of a wellness event; conducting telephone and in-person personal lifestyle wellness assessments; counselling in the field of mental health and wellness; counselling services in the fields of health, nutrition and lifestyle wellness; providing information in the fields of health and wellness; providing information about health, wellness and nutrition via a website; providing wellness services, namely, personal assessments, personalised routines, maintenance schedules, and counselling; medical counselling relating to stress; holistic health services in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd
P.O. Box 14
Victoria
Mahe, Seychelles**

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **465/2023** in Class **45** with respect of Legal services; security services for the physical protection of tangible property and individuals; dating services, online social networking services; funerary services; babysitting; personal and social services regarding individual needs; personal and social services rendered by others to meet the needs of individuals; mentoring (personal or spiritual) for charitable purposes; wellness services being spiritual guidance and non-therapeutic counselling to meet the needs of individuals; life coaching being personal mentoring and non-therapeutic counselling services in the name of from **ABSA Bank Limited of 15 Troye Street, Johannesburg, Gauteng, Republic of South Africa.**

Address for service: **Hunt, Deltel & Co., Ltd
P.O. Box 14
Victoria
Mahe, Seychelles**

ABSA YOUR STORY MATTERS

Lodged: **20/09/2023.**

Application No: **373/2023** in Class **05** with respect of Pharmaceutical preparations in the name of **NOVARTIS AG** of **4002 Basel, Switzerland**.

Address for service: **Hunt, Deltel & Co., Ltd**
P.O. Box 14
Victoria, Mahe
Seychelles

JALMARTI

Lodged: **10/08/2023**.

Application No: **141/2023** in Class **33** with respect of Wines; still wines; fizzy wines; sparkling wines; sparkling white wines; sparkling rosé wines in the name of **VAL D'OCA S.R.L.** of **Via Per San Giovanni, 45, VALDOBBIADENE (TREVISO) Italy**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 2
Victoria
Mahe



Lodged on: **15/03/2023**.

Application No: **363/2023** in Class **18** with respect of Backpacks; handbags; luggage; purses; umbrellas; wallets; duffle bags; key cases; sports bags; tote bags; travel bags in the name of **PepsiCo, Inc.** of **700 Anderson Hill Road, Purchase, New York 10577, United States of America**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **09/08/2023**.

Application No: **364/2023** in Class **25** with respect of Footwear; gloves; hats; loungewear; mittens; neckties; pants; scarves; sleepwear; socks; sweaters; fleece jackets; fleece tops; head wear; shirts; tank tops; athletic pants; baseball caps; clothing jackets; knitted caps; sweat pants; sweat shirts; t-shirts in the name of **PepsiCo, Inc.** of **700 Anderson Hill Road, Purchase, New York 10577, United States of America**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **09/08/2023**.

Application No: **365/2023** in Class **32** with respect of Soft drinks; concentrates, syrups or powders used in the preparation of soft drinks in the name of **PepsiCo, Inc.** of **700 Anderson Hill Road, Purchase, New York 10577, United States of America**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **09/08/2023**.

Application No: **366/2023** in Class **18** with respect of Backpacks; handbags; luggage; purses; umbrellas; wallets; duffle bags; key cases; sports bags; tote bags; travel bags in the name of **PepsiCo, Inc. of 700 Anderson Hill Road, Purchase, New York 10577, United States of America.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **09/08/2023.**

Application No: **367/2023** in Class **25** with respect of Footwear; gloves; hats; loungewear; mittens; neckties; pants; scarves; sleepwear; socks; sweaters; fleece jackets; fleece tops; head wear; shirts; tank tops; athletic pants; baseball caps; clothing jackets; knitted caps; sweat pants; sweat shirts; t-shirts in the name of **PepsiCo, Inc. of 700 Anderson Hill Road, Purchase, New York 10577, United States of America.**

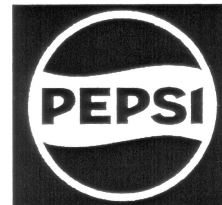
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **09/08/2023.**

Application No: **368/2023** in Class **32** with respect of Soft drinks; concentrates, syrups or powders used in the preparation of soft drinks in the name of **PepsiCo, Inc. of 700 Anderson Hill Road, Purchase, New York 10577, United States of America.**

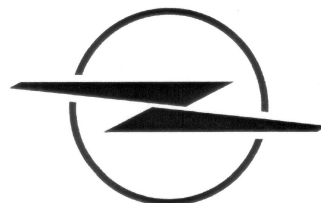
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **09/08/2023.**

Application No: **376/2023** in Class **4** with respect of Industrial oils; industrial greases; lubricants; dust absorbing compositions; dust wetting compositions; dust controlling compositions; fuels [including motor spirits]; lighting fuel; candles and wicks for lighting in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

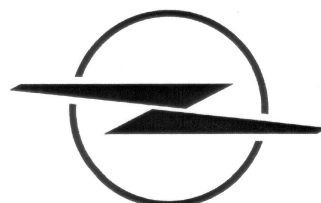
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **377/2023** in Class **7** with respect of Machines for processing metal, wood and plastic; packaging machines; machine tools; motors [other than motors for land vehicles]; machine coupling and transmission components [other than for land vehicles] in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

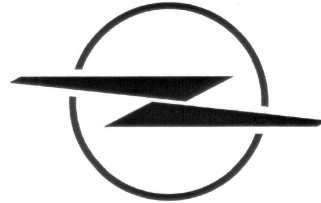
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **377/2023** in Class **7** with respect of Machines for processing metal, wood and plastic; packaging machines; machine tools; motors [other than motors for land vehicles]; machine coupling and transmission components [other than for land vehicles] in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

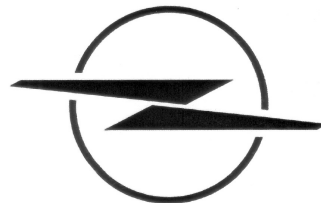
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **378/2023** in Class **09** with respect of Scientific, surveying, photographic, cinematographic, optical, weighing, measuring, signalling, checking (supervision), life-saving and teaching apparatus and instruments; apparatus for recording, transmission or reproduction of sound and images; magnetic data carriers; data processing equipment; computer; navigation devices for vehicles [on-board computers]; navigational instruments; accessories for navigation devices, namely navigation CDs and navigation programs; software, recorded; binoculars; sunglasses; mobile phone shells; CD case; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

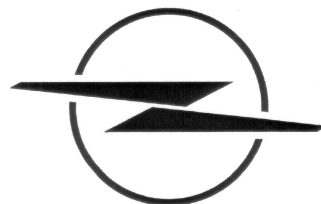
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **379/2023** in Class **12** with respect of Motor vehicles, their parts and spare parts; bicycles and parts therefor; children's motor vehicles; vehicle tires; boats; camping vehicles; electric vehicles; golf carts; strollers; mopeds; motorcycles; scooters [vehicles]; luggage carriers (including for skis and bicycles); child car seats; headrests [for automobiles]; seat covers [for motor vehicles]; rims; sun visors [vehicle parts]; seat belt pads for motor vehicles; all the aforesaid goods included in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

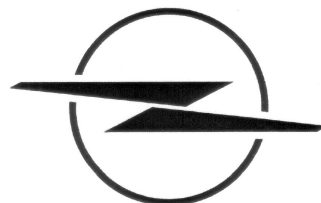
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **380/2023** in Class **14** with respect of Jewellery; clocks; watches; chronometric instruments; precious metals and their alloys; tie pins; cufflinks; key chains; key rings; key fobs; pins [jewellery]; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

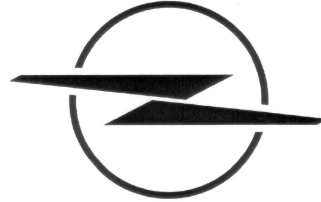
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **381/2023** in Class **16** with respect of Paper, cardboard and goods made from these materials, namely posters made from paper and cardboard, signs made from paper and cardboard; printed matter; photographs; stationery; office requisites [other than furniture]; plastic materials for packaging; paper packaging materials; cardboard materials for packaging; stickers, including for affixing to vehicles; notepads; notebooks; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

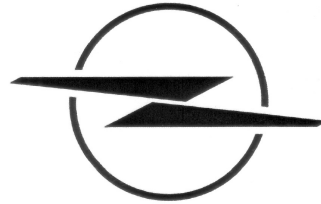
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **382/2023** in Class **18** with respect of Leather and imitations of leather, and goods made of these materials, namely leather straps [belts], leather key cases, leather business card cases; trunks and suitcases; umbrellas; parasols; walking sticks; bags; handbags; briefcase; wallets; fur blankets; purses not of precious metal; kindergarten bags; garment bags for travel; vanity cases; toiletry bags; hipsacks; key cases; traveling sets [leather goods]; backpacks; satchel; school bags; sports bags; leather tool bags [empty]; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

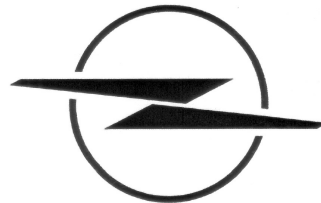
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **383/2023** in Class **21** with respect of Household or kitchen containers of precious metal; household or kitchen utensils and containers [not of precious metal or coated therewith]; drinking bottles; insulating flasks; children's drinking bottles; lunch boxes; bottle openers; coffee mugs; crystal glass blocks; combs and sponges; brushes [other than paint brushes]; cleaning supplies; unworked or semi-worked glass [other than glass used in construction]; glassware, porcelain and earthenware [not included in other classes] in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

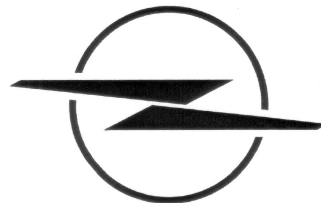
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **384/2023** in Class **25** with respect of Clothing; footwear; headgear; sweatbands; belts; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

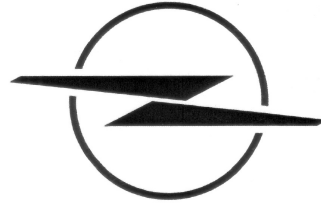
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **385/2023** in Class **27** with respect of Foot mats; mats; carpets; all the aforesaid goods in particular for motor vehicles; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofspatz, 65423 Rüsselsheim, Germany.**

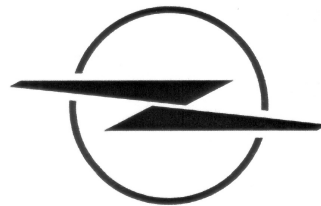
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **386/2023** in Class **28** with respect of Games; toys; sporting goods; toy cars; model cars; plush toys; teddy bears; electronic games [including video games [hardware]]; playing cards; flying discs [toys]; discuses for sports; footballs; basketballs; soft balls; video games as attachments for televisions; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofspatz, 65423 Rüsselsheim, Germany.**

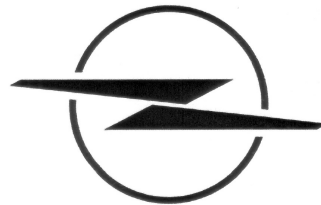
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **387/2023** in Class **34** with respect of Ashtrays of precious metal; lighters; tobacco; smokers' articles; matches; lighters, not of precious metal; all the aforesaid goods included in this class in the name of **Opel Automobile GmbH of Bahnhofspatz, 65423 Rüsselsheim, Germany.**

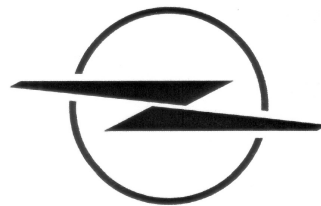
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **388/2023** in Class **35** with respect of Advertising; business management; business administration; clerical services; retail services in relation to the sale of motor vehicles, their parts and spare parts offered online via the internet and through retail stores and premises; information and advisory services relating to the purchase and quality of motor vehicles for advertising and sales purposes provided over the internet and in retail stores and on premises; advertising and promotions in connection with the sale, rental and leasing of motor vehicles; online services, namely, providing online consultancy for buying and selling motor vehicles; information relating to the purchase of automobiles provided online from a computer database or the Internet in the name of **Opel Automobile GmbH of Bahnhofspatz, 65423 Rüsselsheim, Germany.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

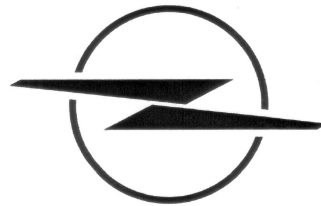


Lodged on: **11/08/2023.**

Application No: **389/2023** in Class **36** with respect of Insurance; finance services; monetary affairs; real estate affairs; processing of monetary transactions with credit cards; issuance of debit cards; issuance of vouchers, tokens of value; issuing of credit cards;

Issuance of travelers cheques; banking; pawnbrokerage; loan against collateral; stock exchange quotations; clearing [accounting transactions]; CO2 emissions trading [brokerage]; safekeeping of valuables; actuarial services; real estate brokerage services; brokerage services; pension fund services; savings bank services; provident fund services; stocks and bonds brokerage; collection of outstanding debts [debt collection]; collection of rent and lease income; electronic funds transfer; fiscal assessment and evaluation; providing information on insurance matters; financial information; factoring; fire insurance; financial analysis; financial advice; financial sponsorship; financial valuation of unlogged timber; financial appraisal of wool; financial appraisal services [insurance, banking, real estate]; financing services; building management; currency exchange services; business liquidations [financial services]; installment loans; home banking; real estate brokerage; property management; capital investment; health insurance services; credit brokerage; leasing; life insurance services; lombard transactions; numismatic appraisals; fundraising for others; charitable fundraising; appraisal of postage stamps; jewelry appraisal; antique appraisal; real estate appraisal; appraisal of works of art; evaluation of repair costs [financial appraisal]; check verification; marine insurance; financial guarantees [surety services]; accident insurance; granting of loans; rental of offices [real estate]; rental of apartments; mutual funds; brokerage of insurance; wealth management; asset management by trustees; leasing of real estate; leasing of agricultural businesses; insurance advice; safekeeping of valuables; housing agency; financial customs brokerage services; loan advice; appraisal of motor vehicles; financial services for the purchase of automobiles in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

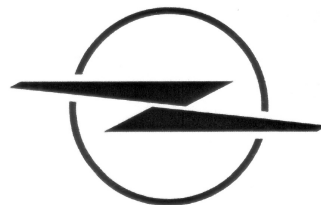
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **390/2023** in Class **37** with respect of Construction; repair services, namely repair services for motor vehicles; maintenance of motor vehicles; inspection of motor vehicles and their components prior to maintenance and repair; installation of electronic devices in automobiles; installation of lighting apparatus; installation of heating, ventilation and air conditioning systems in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

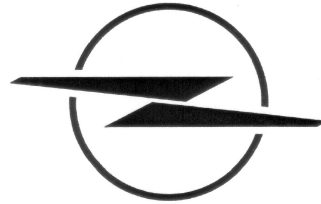
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **391/2023** in Class **38** with respect of Telecommunications; providing access to platforms and portals on the Internet; telecommunications using platforms and portals on the Internet; services for the transmission of data and information to computers [including portable notebook computers] and mobile devices [including phones and tablets]; electronic transmission of data via a global communications network; providing access to interactive databases; providing access to login portals for customers [in particular for querying tracking information about the progress of motor vehicle purchases and information about planned customer services according to the maintenance plan]; communication services by computer terminals; transmission of electronic mail to computers [including portable notebook computers] and mobile devices [including phones and tablets] in the name of **Opel Automobile GmbH of Bahnhofplatz, 65423 Rüsselsheim, Germany.**

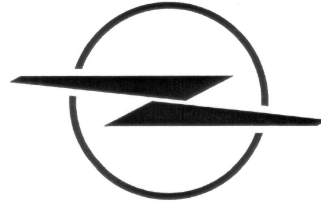
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **392/2023** in Class **39** with respect of Transportation; packaging and storage of goods; travel arrangement; rental of motor vehicles; consultancy and information services relating to motor vehicle rental in the name of **Opel Automobile GmbH** of **Bahnhofplatz, 65423 Rüsselsheim, Germany.**

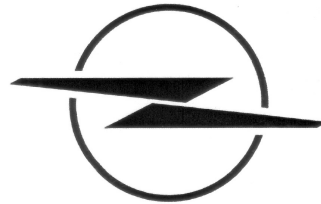
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **393/2023** in Class **41** with respect of Education; entertainment; sporting and cultural activities in the name of **Opel Automobile GmbH** of **Bahnhofplatz, 65423 Rüsselsheim, Germany.**

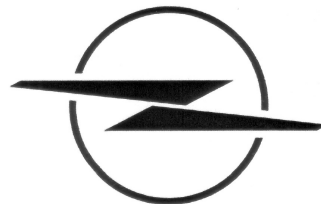
Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **394/2023** in Class **42** with respect of Scientific and technological services and research and design services relating thereto; industrial analysis and research services; design and development of computer hardware and software in the name of **Opel Automobile GmbH** of **Bahnhofplatz, 65423 Rüsselsheim, Germany.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **11/08/2023.**

Application No: **402/2023** in Class **30** with respect of Flour; flour preparations for food and preparations made from cereals, including ready-to-eat snack foods made from flour; ready-to-eat snack foods made from cereals, processed grains; snack food products made from cereals, processed grains; wheat flour; whole wheat flour; rice; vermicelli; salt; spices; curry (spice); sugar in the name of **ITC LIMITED** of **Virginia House, 37, J.L. Nehru Road, Kolkata - 700 071, State of West Bengal, India.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

AASHIRVAAD

Lodged on: **22/08/2023.**

Application No: **408/2023** in Class **29** with respect of Meat, fish, poultry and game; meat extracts; preserved, frozen, dried and cooked fruits and vegetables; jellies, jams, compotes; eggs; milk, cheese, butter, yoghurt and other milk products; oils and fats for food in the name of **The National Agricultural Development Company (NADEC)** of **P.O. Box 2557, Riyadh 11461, Saudi Arabia**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **28/08/2023**.

Application No: **409/2023** in Class **32** with respect of Beers; non-alcoholic beverages; mineral and aerated waters; fruit beverages and fruit juices; syrups and other non-alcoholic preparations for making beverages in the name of **The National Agricultural Development Company (NADEC)** of **P.O. Box 2557, Riyadh 11461, Saudi Arabia**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **28/08/2023**.

Application No: **411/2023** in Class **43** with respect of Services for providing food and drink; temporary accommodation in the name of **BANQUET FOODS INTERNATIONAL FZE** of **T2-7F-1H RAKEZ Amenity Center Al Hamra Industrial Zone - FZ**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **31/08/2023**.

Application No: **415/2023** in Class **9** with respect of Computer e-commerce software in the name of **SAFIR TECHNOLOGY COMPUTER SYSTEMS & COMMUNICATION EQUIPMENT SOFTWARE TRADING CO. L.L.C** of **Dubai, United Arab Emirates**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **04/09/2023**.

Application No: **416/2023** in Class **35** with respect of Computerized data processing in the name of **SAFIR TECHNOLOGY COMPUTER SYSTEMS & COMMUNICATION EQUIPMENT SOFTWARE TRADING CO. L.L.C** of **Dubai, United Arab Emirates**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **04/09/2023**.

Application No: **417/2023** in Class **42** with respect of Server hosting in the name of **SAFIR TECHNOLOGY COMPUTER SYSTEMS & COMMUNICATION EQUIPMENT SOFTWARE TRADING CO. L.L.C** of **Dubai, United Arab Emirates**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **04/09/2023**.

Application No: **419/2023** in Class **09** with respect of Televisions; video monitors; television monitors; wearable video display monitors; LCD monitors; LED monitors; digital signage monitors; touchscreen monitors; electronic driver-interface displays for automobiles; video displays for navigation apparatus for vehicles; light emitting diode (LED) displays; OLED (organic light emitting diode) display panels; flat panel display screens in the name of **SAMSUNG ELECTRONICS CO., LTD.** of **129, Samsungro, Yeongtong-gu, Suwon-si, Gyeonggi-do, Republic of Korea**.

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

Neo QLED

Lodged on: **06/09/2023**.

Application No: **441/2023** in Class **18** with respect of Leather and imitations of leather, and goods made of these materials and not included in other classes; animal skins, hides; trunks and travelling bags; umbrellas and parasols; walking sticks; whips, hatness and saddlery; luggage; backpacks; bags; sport bags in the name of **PATAGONIA, INC.** of **259 West Santa Clara Street, Ventura, California 93001. U.S.A.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **15/09/2023**.

Application No: **442/2023** in Class **25** with respect of Clothing, footwear, headgear in the name of **PATAGONIA, INC.** of **259 West Santa Clara Street, Ventura, California 93001. U.S.A.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **15/09/2023**.

Application No: **443/2023** in Class **35** with respect of Advertising; business management, business administration; office functions; retail, online, and catalog services in the name of **PATAGONIA, INC.** of **259 West Santa Clara Street, Ventura, California 93001. U.S.A.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles



Lodged on: **15/09/2023**.

Application No: **444/2023** in Class **18** with respect of Leather and imitations of leather, and goods made of these materials and not included in other classes; animal skins, hides; trunks and travelling bags; umbrellas and parasols; walking sticks; whips, hatness and saddlery; luggage; backpacks; bags; sport bags in the name of **PATAGONIA, INC. of 259 West Santa Clara Street, Ventura, California 93001. U.S.A.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

PATAGONIA

Lodged on: **15/09/2023.**

Application No: **445/2023** in Class **25** with respect of Clothing, footwear, headgear in the name of **PATAGONIA, INC. of 259 West Santa Clara Street, Ventura, California 93001. U.S.A.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

PATAGONIA

Lodged on: **15/09/2023.**

Application No: **446/2023** in Class **35** with respect of Advertising; business management, business administration; office functions; retail, online, and catalog services in the name of **PATAGONIA, INC. of 259 West Santa Clara Street, Ventura, California 93001. U.S.A.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

PATAGONIA

Lodged on: **15/09/2023.**

Application No: **447/2023** in Class **43** with respect of Hotel accommodation services; hotel room booking services; restaurant and bar services; restaurant reservation services in the name of **Operadora Palace Resorts, JA Limited of Main Street, Ocho Rios Saint Ann, Jamaica.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

PALACE RESORTS

Lodged on: **18/09/2023.**

Application No: **448/2023** in Class **43** with respect of Hotel accommodation services; hotel room booking services; restaurant and bar services; restaurant reservation services in the name of **Operadora Palace Resorts, JA Limited of Main Street, Ocho Rios Saint Ann, Jamaica.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

LE BLANC

Lodged on: **18/09/2023.**

Application No: **449/2023** in Class **43** with respect of Hotel accommodation services; hotel room booking services; restaurant and bar services; restaurant reservation services in the name of **Operadora Palace Resorts, JA Limited of Main Street, Ocho Rios Saint Ann, Jamaica.**

Address for service: **Kieran B. Shah**
House of Ansuya
P.O Box 297, Victoria
Mahe, Seychelles

MOON PALACE

Lodged on: **18/09/2023.**

Application No: **421/2023** in Class **35** Shopping malls, outlets, shops, retail shops and outlets; advertising agencies, advertising material, business management of performing, Commercial Information agencies, commercial or industrial management, demonstration of goods, direct mail dissemination of advertising matter, distribution of samples, exhibitions for commercial or advertising purposes, commercial management assistance, marketing research, marketing studies, Modeling for advertising or sales promotion, outdoor advertising, advertising materials, procurement services and all other services covered under international class 35 in the name of **Emaar Properties PJSC of P.O Box 9440, Dubai, United Arab Emirates.**

Address for service: **International Law & Corporate Services (Pty) Ltd.**
2nd Floor, Allied Building Annex
Francis Rachel Street
Victoria
Mahe, Seychelles

VIDA

Lodged on: **12/09/2023.**

Application No: **422/2023** in Class **43** Management of tourist resorts, hotel management, hotels, catering services for meals and beverages, management of temporary accommodation, services provided by individuals or firms involved in preparing foods or beverages for consuming them, Café's, cafeterias, restaurants, Snack-bars services of provision of accommodation and meals in hotels or homes or any other institutions that provide temporary accommodation, accommodation reservation services for passengers, particularly by using travel agents and all other services covered under international class 43 in the name of **Emaar Properties PJSC of P.O Box 9440, Dubai, United Arab Emirates.**

Address for service: **International Law & Corporate Services (Pty) Ltd.**
2nd Floor, Allied Building Annex
Francis Rachel Street
Victoria
Mahe, Seychelles

VIDA

Lodged on: **12/09/2023.**

Application No: **423/2023** in Class **35** Shopping malls, outlets, shops, retail shops and outlets; advertising agencies, advertising material, business management of performing, Commercial Information agencies, commercial or industrial management, demonstration of goods, direct mail dissemination of advertising matter, distribution of samples, exhibitions for commercial or advertising purposes, commercial management assistance, marketing research, marketing studies, Modeling for advertising or sales promotion, outdoor advertising, advertising materials, procurement services and all other services covered under international class 35 in the name of **Emaar Properties PJSC of P.O Box 9440, Dubai, United Arab Emirates.**

Address for service: **International Law & Corporate Services (Pty) Ltd.**
2nd Floor, Allied Building Annex

**Francis Rachel Street
Victoria
Mahe, Seychelles**

VIDA

Lodged on: **12/09/2023.**

Application No: **424/2023** in Class **43** Management of tourist resorts, hotel management, hotels, catering services for meals and beverages, management of temporary accommodation, services provided by individuals or firms involved in preparing foods or beverages for consuming them, Caf  s, cafeterias, restaurants, Snack-bars services of provision of accommodation and meals in hotels or homes or any other institutions that provide temporary accommodation, accommodation reservation services for passengers, particularly by using travel agents and all other services covered under international class 43 in the name of in the name of **Emaar Properties PJSC of P.O Box 9440, Dubai, United Arab Emirates.**

Address for service: **International Law & Corporate Services (Pty) Ltd.
2nd Floor, Allied Building Annex
Francis Rachel Street
Victoria
Mahe, Seychelles**

VIDA

Lodged on: **12/09/2023.**

Application No: **495/2023** in Class **9** with respect of computer software applications, downloadable; junction boxes [electricity]; current rectifiers; inverters [electricity]; Voltage regulators for vehicles; distribution boxes [electricity]; batteries, electric, for vehicles; solar panels for the production of electricity; battery chargers; batteries, electric; photovoltaic cells; charging stations for electric vehicles; monitors [computer hardware]; monitors [computer programs]; transformers [electricity]; data processing apparatus; cameras [photography]; monitoring apparatus, other than for medical purposes; computer programs, recorded; electric installations for the remote control of industrial operations; electric apparatus for commutation; electromagnetic coils; igniting apparatus, electric, for igniting at a distance in the name of **GINLONG TECHNOLOGIES CO.,LTD. of No. 57 Jintong Road, Binhai Industrial Park, Economic Development Zone, Xiangshan, Ningbo, Zhejiang, China.**

Address for service: **International Law & Corporate Services (Pty) Ltd.
2nd Floor, Allied Building Annex
Rue de la possession, Victoria
Mahe, Seychelles**

 **solis**

Lodged on: **09/10/2023.**

Application No: **418/2023** in Class **43** with respect of Services for providing food and drink; Temporary accommodation; Bar services; Catering; Caf  s; Caf  terias; Snack-bars; Self-service restaurants; Food parlours (bars), catering, pizzerias, sandwich bars in the name of **BEEFBAR of « Le Monte-Carlo Sun » 74, boulevard d'Italie, 98000 MONACO, PRINCIPAUTE DE MONACO.**

Address for service: **MacMillan's Intellectual Property Attorneys Ltd
2nd Floor, Allied Building Annex
Rue de la possession, Victoria
Mahe, Seychelles**

beefbar

Lodged on: **04/09/2023.**

Application No: **374/2023** in Class **30** with respect of Sauce in the name of **SEYCHELLES TRADING COMPANY LIMITED** of **LATANIER ROAD**.

Address for service: **SEYCHELLES TRADING COMPANY LIMITED**
LATANIER ROAD



Lodged on: **14/08/2023**.

Application No: **475/2023** in Class **30** with respect of Coffee, tea, cocoa and artificial coffee; flour and preparations made from cereals; bread, pastries and confectionery; chocolate; ice cream, sorbets and other edible ices; sugar, honey, treacle; yeast, baking powder; salt, sauces and other condiments; ice (frozen water) in the name of from **Bakehouse Ltd of Suite 1, Second Floor, Sound & Vision House, Francis Rachel, Victoria, Mahe, Seychelles**.

Address for service: **Bakehouse Ltd**
Suite 1, Second Floor
Sound & Vision House
Francis Rachel, Victoria
Mahe, Seychelles



Lodged on: **03/10/2023**.

Claiming the colours: Indian Red, Dull Red, Budha Gold, White, Tan, Green, Olive brown, Rosy Pink, Peach Yellow, Surf, Sherpa Blue, Shadow green.

Application No: **335/2023** in Class **32** with respect of Bottling of water - Still water - Sparking water - Flavour water in the name of **Premium Beverages Co. (Pty) Ltd of Beoliere, Mahe, Seychelles**.

Address for service: **Premium Beverages Co. (Pty) Ltd**
Beoliere
Mahe
Seychelles

Lodged on: **19/07/2023**.

No. 1207 of 2023

INDUSTRIAL PROPERTY ACT NOTICE OF RENEWAL SECTION 78

Take notice that the Trade Marks listed in the first column of the Schedule have been renewed for a period of 7 years from the date given in the second column of the Schedule.

SCHEDULE

| Trade Mark No. | Renewal date |
|----------------------------------|----------------|
| 6251 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6254 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6255 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |

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| 6256 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6257 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6258 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6260 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6261 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6263 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6264 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6266 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6267 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6269 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6271 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6272 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6273 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6274 | 18th May, 2023 |
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| 6275 | 18th May, 2023 |
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| 6276 | 18th May, 2023 |
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| 6277 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6278 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6313 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6314 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |

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| 6315 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6317 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6318 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6320 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6322 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6323 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6325 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6327 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6328 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6329 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6330 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6331 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6332 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6333 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6334 | 18th May, 2023 |
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| 6335 | 18th May, 2023 |
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| 6336 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6339 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 6340 | 18th May, 2023 |
| Dated this 23rd day of May, 2023 | |
| 8860 | 24th August, 2023 |
| Dated this 28th day of August, 2023 | |

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|---------------------------------------|----------------------|
| 8886 | 3rd February, 2023 |
| Dated this 3rd day of February, 2023 | |
| 10924 | 24th August, 2023 |
| Dated this 28th day of August, 2023 | |
| 10960 | 24th August, 2023 |
| Dated this 28th day of August, 2023 | |
| 10961 | 24th August, 2023 |
| Dated this 28th day of August, 2023 | |
| 10979 | 5th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 3849 | 02nd June, 2023 |
| Dated this 15th day of June, 2023 | |
| 1952 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 2017 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 2018 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 2065 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 2905 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 2906 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 2907 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 2908 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 4165 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 6655 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 6656 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 6657 | 05th September, 2023 |
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| 6661 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 9266 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |

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| 10930 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 10931 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 10932 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 10933 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 10934 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 10935 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 10956 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 10957 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 11110 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 11111 | 20th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 11112 | 20th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 11113 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 11404 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 11502 | 05th September, 2023 |
| Dated this 7th day of September, 2023 | |
| 6654 | 05th September, 2023 |
| Dated this 8th day of September, 2023 | |
| 10928 | 05th September, 2023 |
| Dated this 8th day of September, 2023 | |
| 10929 | 05th September, 2023 |
| Dated this 8th day of September, 2023 | |
| 6507 | 05th September, 2023 |
| Dated this 11th day of September, 2023 | |
| 6563 | 05th September, 2023 |
| Dated this 11th day of September, 2023 | |
| 1977 | 05th September, 2023 |
| Dated this 11th day of September, 2023 | |

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| 1980 | 05th September, 2023 |
| Dated this 11th day of September, 2023 | |
| 9015 | 05th September, 2023 |
| Dated this 11th day of September, 2023 | |
| 9016 | 05th September, 2023 |
| Dated this 11th day of September, 2023 | |
| 11373 | 05th September, 2023 |
| Dated this 11th day of September, 2023 | |
| 9013 | 05th September, 2023 |
| Dated this 13th day of September, 2023 | |
| 1966 | 13th September, 2023 |
| Dated this 19th day of September, 2023 | |
| 2076 | 13th September, 2023 |
| Dated this 19th day of September, 2023 | |
| 11142 | 13th September, 2023 |
| Dated this 19th day of September, 2023 | |
| 11143 | 13th September, 2023 |
| Dated this 19th day of September, 2023 | |
| 11144 | 13th September, 2023 |
| Dated this 19th day of September, 2023 | |
| 11145 | 13th September, 2023 |
| Dated this 19th day of September, 2023 | |
| 11146 | 13th September, 2023 |
| Dated this 19th day of September, 2023 | |
| 2078 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 3917 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 3918 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 3009 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 4010 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 10885 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 11311 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 11312 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |

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| 11394 | 20th September, 2023 |
| Dated this 21th day of September, 2023 | |
| 12506 | 22nd September, 2023 |
| Dated this 26th day of September, 2023 | |

S.I. 91 of 2023**PHYSICAL PLANNING ACT, 2021***(Act 55 of 2021)***Physical Planning (Development and Subdivision of Parcels)
Regulations, 2023****Arrangement of Regulations****Regulations****PART I - PRELIMINARY**

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2. Interpretation
3. Prohibition on developments not in accordance with regulations

PART II - PARCELS***Distances of developments from boundaries, accesses, utilities etc.***

4. Matters to be considered in determining distances in relation to developments
5. Distance of building from boundary
6. Distance of boundary walls and fences from boundary
7. Distance of buildings from right of way
8. Distance of buildings from roads
9. Distance of retaining wall from boundary and roads
10. Utilities reserve
11. Distance of buildings from power lines
12. Development uphill or downhill of embankments
13. Distance of buildings from coastline
14. Type and height of fences and their distance from coastline
15. Type and height of fences and walls other than on coastline

Storm and surface water drainage

16. Storm and surface water drainage
17. Protection of natural water courses

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25. Waste water disposal systems
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27. Application to subdivide land
28. Minimum size of parcels resulting from subdivisions
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31. Support infrastructure installation
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33. Subdivision excising structure where supporting infrastructure on separate plot
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S.I. 91 of 2023**PHYSICAL PLANNING ACT, 2021***(Act 55 of 2021)***Physical Planning (Development and Subdivision of Parcels)
Regulations, 2023**

In exercise of the powers conferred by section 82(2)(o) of the Physical Planning Act, 2021, the Minister of Land Use and Housing makes the following Regulations —

PART I - PRELIMINARY**Citation**

1. These Regulations may be cited as the Physical Planning (Development and Subdivision of Parcels) Regulations, 2023.

Interpretation

2. In these Regulations —

“boundary lines” in relation to a parcel, means the line determining the outer limits of the parcel, and where the parcel is surveyed under the Land Survey Act as a diagram, the outer lines joining the beacons;

“cadastral plan” refers to a diagram as defined in the Land Survey Act Cap 109;

“estate road” means a road indicated as such in a development plan;

“high density area” means the area density designation of which is indicated as such in a land use plan;

“institutional building” means a building intended for public use to provide health, educational, recreational or government

services, and includes schools, hospitals, rest rooms, places of worship, and government offices;

“land use plan” means a land use plan prepared pursuant to section 22 of the Act;

“low density area” means the area density designation of which is indicated as such in a land use plan;

“medium density area” means the area density designation of which is indicated as such in a land use plan;

“parcel” means any piece or unit of land, enclosed within determinable boundaries;

“primary road” means a road indicated as such in a development plan;

“secondary road” means a road indicated as such in a development plan;

“tertiary road” means a road indicated as such in a development plan and includes an estate road;

“urban area” means an area designated as such in a land use plan.

Prohibition on developments not in accordance with regulations

3.(1) The Authority shall not approve an application for permission to carry out any development which is not in accordance with these regulations.

(2) A person shall not carry out any development except in accordance with these regulations.

(3) A person who carries out any development in contravention of any provision of these regulations commits an offence and is liable on conviction to a fine pursuant to section 72 of the Act.

PART II - PARCELS

Distances of Developments from boundaries, accesses, utilities etc.

Matters to be considered in determining distances in relation to developments

4.(1) The distances from boundary lines to be maintained in relation to a development shall be determined taking into account —

- (a) fire safety considerations;
- (b) requirements for accesses and reserves for services; and
- (c) topography and site conditions; and
- (d) any other relevant considerations,

in accordance with these regulations and any other written law.

Distance of building from boundary

5.(1) The minimum distance of a side of a building or part of a side of a building from the boundary of the parcel on which the building is erected shall be determined in accordance with the provisions of any Building Regulations based on —

- (a) the classification of the building based on its use;
- (b) height of the building based on the number of floors;
- (c) the existence and size of openings in external walls;
- (d) the existence and size of roof lights; and
- (e) the material of roof coverings.

(2) Notwithstanding subregulation (1), a building may, with the written consent of the owner of the parcel abutting the parcel on which the

building is located as well as the roofline, be situated on the common boundary line of the two parcels.

(3) Notwithstanding subregulations (1) and (2), and provided that the building complies with the Seychelles Fire and Rescue Services Agency Building Fire Safety Regulations or requirements with respect to permitted openings in external walls —

- (a) a building may be erected so that a side or part of a side of the building including the roof line is contiguous with the boundary —
 - (i) in an area designated in a land use plan as an urban area;
 - (ii) with the consent of the owner of the adjoining parcel;
- (b) the common boundary wall of a semi-detached housing unit located on two adjacent parcels, may be situated on the common boundary line of the two parcels.

(4) For the purpose of this regulation building does not include boundary walls and fences.

Distance of boundary walls and fences from boundary

6.(1) Subject to subregulations (2), (3) and (4), the distance of a boundary wall or fence from the boundary line of the parcel on which the wall or fence is erected, shall not be less than 300 millimeters.

(2) A boundary wall or fence may be erected on the common boundary line between two parcels where the owners of the parcels agree thereto in writing.

(3) Boundary walls and fences in areas designated in a land use plan as medium and high density residential areas, shall be erected on the common boundary lines of adjacent parcels, except where the owners of such parcels do not agree thereto in writing.

(4) Where the common wall of a semi detached housing unit located on two adjacent parcels, is situated on the common boundary line of the two parcels —

- (a) that wall shall be the boundary wall; and
- (b) that wall may be extended beyond the limits of the housing unit but along and to the extent of the common boundary line so as to separate the two parcels.

Distance of buildings from right of way

7.(1) Subject to the provisions of any other written law, a building, erected on a parcel which is burdened by a right of way for the benefit of another parcel, shall not obstruct such right of way.

(2) The distance of a building other than a boundary wall or fence from a right of way, shall not be less than —

- (a) where the right of way is in the form of a footpath, 0.6 meter from the edge of the footpath;
- (b) where the right of way is in the form of a motorable right of way, 1.0 meter from the edge of the right of way.

Distance of buildings from roads

8.(1) Where a building other than a boundary wall or fence is situated on a parcel adjacent to a road, the building including the roofline, shall not be less than —

- (a) in the case of a primary road, 6 meters from the edge of the road;
- (b) in the case of a secondary road, 3.5 meters from the edge of the road;
- (c) in the case of a tertiary road, 2 meters from the edge of the road,

out of which 1.5 meter shall be reserved for construction of pavements.

(2) Notwithstanding regulation 6, a boundary wall or fence situated on a parcel which is contiguous to a road shall not be less than 1.0 meters from the boundary line of that parcel; Provided that where a road encroaches upon the parcel, the wall or fence may be erected at a distance of not less than 1.0 meters from the edge of the road reserve.

(3) For the purposes of this section, the edge of the road reserve shall be as shown in the cadastral plan for that area.

Distance of retaining wall from boundary and roads

9.(1) Where a retaining wall is erected uphill of an adjacent parcel, the distance of the foundation of the retaining wall from the common boundary of the two parcels shall not be less than 1metre so as to allow for excavation works and to accommodate weep holes.

(2) A retaining wall may, with the consent in writing of the owner of the parcel adjacent to the parcel on which the wall is located, be situated so that the external face of the top of the retaining wall is contiguous with the common boundary line between the two parcels.

(3) Where a retaining wall is erected uphill of a road, the distance of the frontal edge of the foundation of the wall from the road shall not be less than the distances specified in regulation 8(2) (distance of boundary wall and fences from roads) unless otherwise authorised by the Ministry responsible for Transport.

Utilities reserve

10. Where a parcel provides easement for storm water drain reserves or public utilities routes, adequate setbacks and where provided by any other written law, in accordance with such law, shall be provided for to provide for such reserves or routes.

Distance of building from power lines

11.(1) A person shall not erect a building under a power line.

- (2) A building shall be erected so that no part of the building is less than —
- (a) 3 meters from any power line other than a high voltage power line;
 - (b) 10 meters from a high voltage power line.

Development uphill or downhill of embankments

12.(1) Where a development to be situated downhill of an embankment requires cutting of the embankment on the parcel being developed, the distance of the cutting from the boundary of the parcel shall not be less than the height of the cutting plus 1 metre, so as to ensure that the earthworks do not affect any neighboring property or undermine existing structures uphill of the cutting.

(2) An embankment may be cut at less than the distance specified in subsection (1) if the person carrying out the development provides appropriate earth retaining structures for the embankment.

(3) Where a development is to be situated uphill of an embankment, the development must be situated at such a distance from the embankment that it does not exert any loads which may cause destabilisation of the embankment or any existing earth retaining structures if these structures have not been designed to sustain the loads imposed by such development.

Distance of buildings from coastline

13.(1) Subject to subsection (2), no building shall be erected at a distance of less than 25 meters from the landward side of the high water mark.

(2) A building may, with the permission of the Authority, be erected at a distance of not less than 10 meters from the landward side of the high water mark where the Authority considers that by reason of the topography of the area, the erection of the building should be allowed.

(3) A building may, with the permission of the Authority, be erected at a distance less than that specified in subregulations (1) and (2), where the

building is for a purpose other than a residential, commercial or industrial purpose.

(4) For the purposes of this regulation, building does not include fence.

Type and height of fences and their distance from coastline

14.(1) No wall or fence other than a picket type fence of a height not exceeding 1.5 meters shall be erected along a beach.

(2) Where the coast is not demarcated by a sea wall or natural rock cliff, a fence shall not be erected along a beach at a distance of less than 5 meters from the landward side of the high water mark.

(3) The distance of 5 metres referred to in subregulation (2) may be extended where the Authority considers that a wider coastal vegetation strip is required due to the sensitivity and types of vegetation present on that particular coast.

(4) Where the coast is demarcated by a sea wall or natural rock cliff, a fence shall not be erected at a distance of less than 3 meters from the landward side of the high water mark.

(5) Where a beach is enclaved by land which is privately owned, fencing shall be erected in such a manner as to allow convenient access from the nearest public road to the beach.

Types and height of fences and walls other than on coastline

15.(1) Subject to the other provisions of this regulation, fences and walls shall be erected in such a manner as to ensure a pleasant aesthetic appearance, adequate ventilation in the area where they are erected, and that traffic visibility is not adversely affected.

(2) In low to medium density residential areas, fences or walls shall be of the following description —

- (a) if facing a high speed dual carriageway, a block wall not exceeding 1.8 meters in height;
- (b) if facing a public road other than a high speed dual carriageway, a block wall not exceeding 1.5 meters in height but which may have a decorative feature of an additional 0.3 meters on top of such wall;
- (c) in any other case, a chain link or picket type fence, not exceeding 1.8 meters in height.

(3) In high density residential areas including estates with semi-detached housing units fences or walls shall be of the following description —

- (a) if not facing a public road —
 - (i) a block wall not exceeding 1.5 meters in height of which the top 0.3 meters may be a decorative feature; or
 - (ii) a chain link or picket type fence, not exceeding 1.8 meters in height;
- (b) if facing a public road other than a high speed dual carriageway, a decorative wall not exceeding 1.2 meters in height;
- (c) if facing a high speed dual carriageway, a wall not exceeding 1.8 meters.

(4) The type of walls or fences of institutional buildings shall be such as to ensure that the aesthetical appearance of such walls or fences fits into the surrounding environment and the height shall be determined according to the security needs and function of the institution.

(5) In town centers, all walls and fences facing main streets shall be of decorative types.

(6) The height of a wall erected on a parcel which is adjacent to another parcel which is higher in level than the parcel on which the wall stands, shall not exceed the height prescribed for a wall erected on the higher parcel.

Storm and surface water drainage

Storm and surface water drainage

16.(1) Any development that generates surface water runoff in excess of what would be generated if the development had not been undertaken shall have appropriate outlets directing the runoff to —

- (a) existing roadside or other drainage channels where available; or
- (b) natural water courses.

(2) Subject to subregulation (3), where an outlet to surface water runoff is directed to a neighboring parcel, the developer shall —

- (a) obtain prior written consent from the owner of that parcel, on the most appropriate location for the discharge; and
- (b) provide appropriate drainage so as not to increase runoff in addition to what would otherwise be naturally occurring.

(3) When constructing roads, surfaced parking spaces or walkways the developer responsible for such works shall ensure that —

- (a) provision is made for appropriate drainage networks discharging to an appropriate existing water course;
- (b) grills and other forms of cross-drains or water barriers are provided for the protection of neighboring properties.

(4) The Authority may request detailed storm water flow calculations in order to evaluate the impact of a development before determining an application for permission to develop land and it shall be the responsibility of the developer to conduct required studies.

Protection of natural water courses

17.(1) Natural water courses shall not be —

- (a) altered or diverted unless appropriate detailed studies are conducted and alternatives provided in a comprehensive manner;
- (b) built over, constricted or obstructed:

Provided that natural water courses may be built over for the purpose of making provision for crossing over it.

(2) For the purposes of this regulation, natural water course —

- (a) means a channel other than an artificial one through which water flows;
- (b) includes rivers, streams, seasonal run-off and storm water lines.

Rules specific to residential developments**Planning of residential developments**

18.(1) The planning of residential developments shall take into account the long term sustainable use of limited land resources available and site organizations that will permit future expansion of the use of the parcels on which the developments are made.

(2) For the purposes of orderly development, regulations 19, 20 and 21 shall be complied with in respect of construction of more than one house in designated residential parcels.

Number of housing units permitted on a parcel

19. The number of housing units which may be built on a parcel shall be determined by the plot coverage percentage for built area for the area density designation in which the parcel is classified.

Distance between houses on same parcel

20.(1) In order to ensure adequate privacy between individual housing units and to permit future subdivision in an orderly manner, the distance between —

- (a) non adjacent houses on the same parcel shall not be less than 3 meters;
- (b) corners of adjacent houses on the same parcel shall not be less than 3 meters.

(2) In order to meet fire safety requirements, subregulation (1) also applies where due to the topography of the land, two houses situated on the same parcel are at different elevations so that the parallel walls of the houses do not directly face each other.

Individual housing units to have separate waste water disposal systems

21.(1) Where no public sewage system exists or is available, each individual housing unit on a parcel shall have its own separate waste water disposal systems comprising of a septic tank and soak away, with adequate spacing between those systems to allow for their proper functioning.

(2) Permission for any other waste water disposal systems to be issued by the Public Health Authority specification upon assessment.

Extensions to residential houses

22. An extension to a residential house may be —

- (a) an extension whereby the house and the extension becomes one residential unit or house and where the extension is not self contained but shares facilities with the house which it purports to extend and to which it is connected by internal walls; or
- (b) an extension that creates one or more additional self contained units which contain all the facilities necessary

for each unit to be classified as a house and which is connected to the house which it purports to extend by a common wall or floor and includes a semi-detached house, a block of flats, an apartment block or other similar structure.

Extension size

23. Subject to architectural restrictions for a particular area and other material considerations, the size of extensions permitted on a residential plot will be determined by the percentage of plot coverage area for the total resulting built or sealed area for the area density designation in which the plot is classified.

Extension design

24.(1) The design of an extension shall be consistent with the architecture of the resulting structure as a whole.

(2) An extension shall not adversely affect ventilation of any existing facilities including the building it purports to extend and for that purpose.

(3) The internal layout of an extension shall be organized to ensure functionality and convenience.

(4) The layout and organization of extensions shall be such that the individual housing units including the original housing unit and the newly created units can be separated as condominiums and satisfy requirements for the registration of a condominium plan under the Condominium Property Act, 1992 (*Cap 255*) and for that purpose, an application to the Authority for permission to construct such an extension shall be accompanied by plans and drawings indicating —

- (a) the general common elements including waste water disposal systems if this is a shared system and access routes to each unit and common staircases;
- (b) the limited common elements which may include balconies, verandas and fenced areas; and

- (c) the front and back yards of each unit.

(5) Waste water disposal systems and other utilities services shall be designed or upgraded in order to serve the increased volume resulting from the extension.

(6) The construction of an extension shall comply with fire safety requirements under the Physical Planning (Building) Regulations.

Waste Water Disposal Systems

Waste water disposal systems

25.(1) In order to prevent pollution of or nuisance to the surrounding environment, waste water disposal systems shall comply with the following requirements —

- (a) drain fields shall be used in areas where there is a high water table;
- (b) subject to paragraph (a), soak away pits or drain fields may be used in areas where suitable soil conditions allow for adequate soakage, infiltration and filtering;
- (c) a soakaway pit or drain field shall not be —
 - (i) less than 6m from another soakaway pit or drain field;
 - (ii) less than 4.5m from a boundary or building including a retaining wall;
 - (iii) less than 15m from an unlined drain, water body, of high water mark.
- (d) where the waste disposal system is downhill of a boundary or building, the minimum distance permitted by paragraph (c)(ii) may be reduced provided that there is no risk of waste water flow causing undermining of strata supporting an existing structure.

- (e) approval for other types of waste water disposal systems are subject to assessments by the Public Health Authority and Ministry of Environment.

(2) The Ministry responsible for Public Health and for Environment may impose other additional requirements in relation to waste water disposal systems.

Connection of waste water systems to main sewage system

26. All waste water systems shall be connected to the main sewage system installed by the Authority responsible for public utilities where this is technically feasible at a reasonable cost.

PART III - SUBDIVISIONS

Applications to subdivide land

27.(1) An application for permission to subdivide land shall —

- (a) be made by a qualified land surveyor licensed under the Land Survey Act, 1964 (*Cap 109*);
- (b) were applicable, state the intended use of the parcels resulting from the subdivision;
- (c) indicate the surface area of any parcels resulting from the subdivision;
- (d) indicate any approved development which has a valid planning permission on the land which it is proposed to be subdivided.

Minimum size of parcels resulting from subdivisions

28.(1) The sizes of newly created parcels arising from a subdivision of land shall —

- (a) for high density areas with a central sewerage network, be

determined by an assessment of that specific area based on the site conditions;

- (b) for high density areas without central sewerage network, be not less than 400 square meters;
- (c) for medium density areas, be not less than 600 square meters;
- (d) for low density areas, be not less than 1200 square meters;
- (e) for sensitive areas and protected areas be determined by an assessment of that specific area based on the site conditions.

(2) In determining whether to grant approval for an application to subdivide land in an area specified in paragraph (a) or (b) of subregulation (1), the Authority shall take into consideration the shape of the parcel and the terrain conditions and may, on that basis, refuse to grant the application notwithstanding that a newly created parcel arising from the subdivision meets the minimum parcel size requirements specified in those paragraphs.

(3) Where a proposed subdivision is for the purpose of excising existing buildings or roads, the Authority may, at its discretion, grant approval for an application for such subdivision notwithstanding that the size of a parcel resulting from such subdivision does not meet the minimum size requirements specified in subregulation (1), provided that all other material considerations under the Act or other regulations are met.

Access provisions and reserves

29.(1) Where a subdivision of land is proposed, provision shall be made for —

- (a) access for all newly created parcels arising out of the subdivision in accordance with the other provisions of this regulation;
- (b) the maintenance of existing accesses or provisions for

existing accesses to resulting, adjoining or indirectly linked plots; and

- (c) where the subdivision affects existing provisions of or existing accesses to resulting, adjoining or indirectly linked plots, the developer shall provide alternative and equivalent provisions.

(2) Access referred to in subregulation (1) —

- (a) where a parcel is divided into up to 3 parcels, each subdivided parcel shall be served by an access or right of way created, demarcated and shown on the diagram or plan of the parcel which shall constitute a right of way or an easement burdening the servient parcel for the benefit of the parcel for which the right of way or easement is created;
- (b) where a parcel is divided into more than 3 parcels, each subdivided parcel shall be served by an access reserve and the access reserve shall be in the form of a separate cadastral plan which shall constitute a right of way or an easement for the benefit of the parcels for which the right of way or easement is created.

(3) Section 30A of the Land Survey Act shall *mutatis mutandis* apply to subsection (2).

(4) An existing provision referred to in subregulation (1)(c) may be removed if it is proved that it is not in use and alternatives which are in accordance with the law already exist.

(5) The Authority may give a temporary permission, so that an alternative access can be legalised prior to final approval being granted by the Authority.

Reserve for land bordering public road

30. Where the land to be subdivided borders a public road or other public domain, the Authority may request for a reasonable reserve be

demarcated or impose a condition that a reasonable reserve be left undeveloped along that boundary for the purpose of road widening or services provision corridor.

Support infrastructure installation

31.(1) In the case of subdivisions resulting in more than 3 plots, the developer shall install all supporting physical infrastructure and facilities, to the satisfaction of the Authority before approval for the subdivision is given.

(2) Physical infrastructure and facilities referred to in subregulation (1) include motorable access roads, adequate drainage, electrical power and water distribution networks and associated infrastructure, sewerage collection networks and associated infrastructure, and communication networks and associated infrastructure.

Subdivision affecting public utilities

32. Where a subdivision is proposed and it is foreseen that the future development on the resultant plots will affect public utilities networks that cross such plots (and which previously had crossed such plots through agreement or other legal mechanism), the Authority may —

- (a) grant permission for the subdivision subject to the condition that the developer shall bear the cost of diversion of the network to the satisfaction of the utility provider or register rights for the network on the resulting plots; and
- (b) require the developer to provide a monetary deposit as a bond or guarantee in a form acceptable to the Authority for due performance of the condition referred to in paragraph (a) in accordance with section 38 (1)(g) of the Act.

Subdivision excising structure where supporting infrastructure on separate plot

33.(1) Where a proposed subdivision is for excising an existing structure which has supporting infrastructure or facilities located on another resultant plot, different from the plot accommodating the said structure, then

the developer shall have to re-locate that supporting infrastructure to the respective plot prior to the subdivision being undertaken.

(2) Should it not be possible to accomplish that for technical reasons, the Authority may at its discretion authorise the subdivision with condition that an appropriate encumbrance is registered on the plots accommodating the support infrastructure in favour of the plot accommodating the structure.

Substitute Plan

34. Where a subdivision scheme approved by the Director of Surveys is found to differ by more than 10% of what has been approved, the developer shall submit a substitute plan.

MADE this 23rd day of October, 2023.

BILLY RANGASAMY
MINISTER OF LANDS AND HOUSING

S.I. 89 of 2023**PHYSICAL PLANNING ACT, 2021***(Act 55 of 2021)***Physical Planning (Control of Development of Land) Regulations, 2023****Arrangement of Regulations****Regulations**

1. Citation
2. Application for permission to develop land
3. Application for minor works
4. Public consultation
5. Procedure for dealing with application
6. Matters to be taken into consideration when dealing with an application
7. Application for conceptual approval of development
8. Procedures where Authority fails to notify
9. Register of applications
10. Revocation and modification
11. Tree preservation order
12. Building Preservation Order
13. Notice to owners and occupiers
14. Objections and representations
15. Making, service and operative date of preservation order
16. Provisional order
17. Notice to abate injury caused by waste land etc
18. Appeal against a development decision

SCHEDULES:**Schedule 1** - Form of application for permission to develop land**Schedule 2** - Checklist For Planning Application**Schedule 3** - Application Form For Minor Works**Schedule 4** - Form for Public Consultation Comments**Schedule 5** - Application Form for Conceptual Approval of Development**Schedule 6** - Revocation or Modification Orders Notices**Schedule 7** - Preservation Orders

S.I. 89 of 2023**PHYSICAL PLANNING ACT, 2021****Physical Planning (Control of Development of Land) Regulations, 2023**

In exercise of the powers conferred by Part IV of the Physical Planning Act, 2021, the Minister of Land Use and Housing makes the following Regulations —

Citation

1. These Regulations may be cited as Physical Planning (Control of Development of Land) Regulations, 2023.

Application for permission to develop land

2.(1) An application to the Authority for permission to develop land made pursuant to section 36 of the Act shall —

- (a) be made in writing in the form specified in Schedule 1 and shall include the particulars required to be supplied by such form and be accompanied with —
 - (i) a location plan sufficient to identify the land to which the application relates;
 - (ii) contain such other plans and drawings as are necessary to describe the development which is the subject of the application;
 - (iii) have such additional number of copies of the form referred to in paragraph (i) and the plans and drawings referred to in subparagraphs (ii) as may be required by the Authority; and
 - (iv) if, the application for a commercial or industrial development, have photograph of the notice board of the proposed development posted at the nearest boundary beacon on the proposed development site, facing any road or road reserve;

- (v) the notice board refereed to under subparagraph (iv) shall.
- (b) be visible to onlookers and shall —
 - (i) provide the subject of the proposal; its siting and height; the site plan to a scale of 1:500 or 1:1000 and elevations, shall state the name of the construction company if possible and the name of the developer;
 - (ii) be not less than 1.2 meters by 1.2 meters and of a legible font that fits the size of the notice;
 - (iii) show the proposed development foot print and parcel boundary beacons as pegged out on site and photographs thereof be submitted to the Authority as part of the application;
- (c) as required by section 37, the architect, engineer, surveyor or draughtsman shall place a copy of the notice board as per subparagraph (iv) in the district or regional office, in consultation with the District Authority, together with photographic evidence of the pegged out site and notice board taken to the closest boundary beacons;
- (d) the developer must submit the Planning Application in accordance with the Checklist as per Schedule 2; a
- (e) such fees as may be prescribed.
- (f) the Agent and developer shall sign a declaration form accordingly

(2) The Authority may, in addition to the matters specified in subregulation (1), require the applicant, in writing, to furnish further information in respect of an application for permission to develop land as it may require to enable it to determine that application.

Application for minor works

3. Development of any class specified in Schedule 3 to these regulations shall be considered as Minor Works and a developer shall apply in the manner and form as provided by the Authority.

Public consultation

4.(1) Where in the opinion of the Authority a proposed development is necessary to be subject to the process of public consultation, the —

- (a) developer in collaboration with the District Authority shall undertake a door-to-door survey the radius of which the coverage area shall be determined by the Authority depending on the type of activity proposed;
- (b) the developer shall place a site notice on the boundaries of the development site advertising the proposal and making a call for representations;
- (c) the developer shall send scoping letters in collaboration with the District Authority to all the neighbours within the radius specified by the Authority under sub regulation (1) (a);
- (d) Authority shall also specify depending on the type of proposed activity the mode of public consultation which may include —
 - (i) stakeholder meetings;
 - (ii) one-to-one interviews;
 - (iii) roundtable discussions;
 - (iv) public meetings;
 - (v) seminars or workshops;
 - (vi) focus groups;

- (vii) public surveys;
- (viii) written submissions; or
- (ix) web forums.

(2) The survey undertaken under subregulation (1)(a) shall be developed in a way to get the views, concerns, objections or proposals from the public within the determined development radius.

(3) Any member of the public may inspect the development application free of charge at the district administration at which the intended development is planned and to provide any comments on the proposed development plans in writing within 14 days upon lodgement of the development plans with the Authority.

(4) For the purposes of sub-regulation (3), the comments on the development plans shall be made in the form specified under Schedule 4.

Procedure for dealing with application

5.(1) The Authority shall, not later than 7 days after the receipt of an application under regulation 2, send to the applicant an acknowledgement thereof.

(2) The Authority may, by a direction in writing addressed to the applicant, require to be produced to an officer of the Authority, such evidence in respect of an application for permission to develop land made to the Authority, as the Authority may reasonably call for, to verify any particulars of information given to it.

(3) The Authority shall notify an applicant of its decision not later than 90 working days after the date of receipt of the application by the Authority, or of such extended period as may be agreed upon in writing between the applicant and the Authority.

(4) A notice under sub-regulation (3) shall state the decision of the Authority and where the Authority decides to refuse permission or approval

to develop land or grant such permission or approval subject to conditions, shall contain a statement of the reasons for the decision; and

(5) The time limit provided for in subsection (3) shall run from the time that complete documents and all information required by the Authority to determine the application are received by the Authority.

Matters to be taken into consideration when dealing with an application

6. When dealing with an application for permission to develop land, the Authority shall —

- (a) have regard to the land use plans and national land use plans in force, and other relevant laws in so far as material to such application;
- (b) consult with any relevant authority or person; and
- (c) comply with the directions of the Ministry responsible for Environment with respect to any development or activities requiring the authorization of such Ministry under the provisions of the Environment Protection Act, 2016.

Application for conceptual approval of development

7.(1) A person may, before making an application under regulation 2, make an application to the Authority for the conceptual approval of a proposed development.

(2) An application under subregulation (1) shall be made in writing in the form specified in Schedule 5 and shall be accompanied by —

- (a) a location plan sufficient to identify the land to which the application relates, in a legible scale;
- (b) such other plans and drawings, in a scale to be specified by the Authority, as are necessary to describe the development

which is the subject of the application, including a location plan, a topographical plan where necessary, an elevation plan, a floor plan and conceptual drawings;

- (c) such additional number of copies of the application form and the plans and drawings referred to in paragraphs (a) and (b) as may be required by the Authority; and
- (d) such fees as may be prescribed.

(3) All documents required to be submitted to the Authority when making an application under this regulation, including the application form and all relevant plans and drawings, may be submitted to the Authority online or in physical copies.

(4) The Authority may, by a direction in writing addressed to the applicant, require to be produced to an officer of the Authority, such evidence in respect of an application made under sub-regulation (1), as the Authority may reasonably call for, to verify any particulars of information given to them.

(5) The Authority shall notify an applicant, in writing, of the outcome of an application under this section, not later than 30 working days after the date of receipt of the application by the Authority.

(6) A notice under sub-regulation (5) shall state —

- (a) any matters in favour of permission being granted for the proposed development;
- (b) any matters which may render the grant of permission for the proposed development unlikely;
- (c) conditions which should be fulfilled on a subsequent detailed application for permission to develop land to be considered favourably.

(7) Notwithstanding the giving of notice to an applicant under sub-regulation (6), —

- (a) no such development shall be carried out without the permission of the Authority granted pursuant to an application made this regulation respect of such development; and
- (b) the Authority may in granting permission for the development pursuant to an application under regulation 3, impose conditions subject to which such permission is granted, which were not specified in the notice under subregulation 6.

Procedures where Authority fails to notify

8. Where an application for permission to develop land is made to the Authority and the Authority fails to notify the applicant of its decision within the period specified under regulation 5(3) or 7(5), —

- (a) the applicant shall notify the Board of the Planning Authority of such failure; and
- (b) if the Authority fails to notify the applicant of its decision within 14 days of receipt by the Board of a notice under paragraph (a), regulation 9 shall apply to the application as if the permission has been refused by the Authority and as if notification of their decision had been received by the applicant at the expiration of the period specified in regulation 5(3) or the extended period agreed upon by the applicant and the Authority, as the case may be.

Register of applications

9.(1) The Authority shall keep a register pursuant to section 43 of the Act, containing the following information —

- (a) particulars of every application for permission to develop land made to the Authority including the name and address of the applicant, the date of the application and brief particulars of the development forming the subject matter of the application;

- (b) particulars of any direction given under the Act or these regulations in respect of the application;
- (c) the decision, if any of the Authority in respect of the application and the date of such decision;
- (d) the date and effect of any decision of the Appeals Board in respect of the application; and
- (e) the date of any approval given subsequent to an appeal referred to in paragraph (d), in relation to the application.

(2) A register kept pursuant to sub-regulation (1) shall include an index, so as to enable a person to trace any entry in the register.

(3) A register kept pursuant to sub-regulation (1) shall be —

- (a) kept at the office of the Authority;
- (b) available for inspection by the public at all reasonable hours.

Revocation and modification

10.(1) Where the Authority considers that a permission to develop land should be revoked or modified on any of the grounds specified in section 44 of the Act, it shall give to the developer, and any person having an interest in the land to which the permission relates, a written notice —

- (a) stating its intention to revoke or modify the permission;
- (b) specifying the grounds for the proposed revocation or modification;
- (c) inviting the persons to which notice was given, to show cause, not later than 21 days of service of the notice, why the Authority should not revoke or modify the permission.

(2) A person on whom a notice is served under this regulation may make representations in writing or otherwise show cause to the Authority why the Authority should not revoke or modify the permission within 21 days of service of the notice.

(3) The Authority shall not revoke or amend a permission to develop land without considering any representations or submissions made under sub-regulation (2).

(4) The Authority may, revoke or modify a permission to develop land —

- (a) if no submissions or representations are made to the Authority under subregulation (2) within 21 days of service of the notice; or
- (b) if submissions or representations are made within that period of time, but the Authority after considering such submissions or representations considers that the permission should be revoked or modified.

(5) Where the Authority revokes or modifies a permission under subregulation (4), it shall, not later than 7 days after the date of the revocation or modification, give the persons a written notice under subregulation (1) stating —

- (a) that the permission has been revoked or modified and if modified the manner in which the permission has been modified;
- (b) the date on which the permission was revoked or modified; and
- (c) that such persons may appeal to the Appeals Board against such revocation or modification within 30 days after service of a notice under this sub-regulation.

Tree Preservation Order

11.(1) A tree preservation order made pursuant to section 48 of the Act

shall specify the tree, groups of trees or woodlands to be preserved under the order and may in particular make provision for —

- (a) prohibiting, subject to any exemption made under the order, the cutting down, topping, lopping or willful destruction of trees without the consent of the Authority, which may be given subject to conditions;
- (b) securing the replanting, in such manner as may be specified by the order of any woodland area or part of such area that is felled in the course of forestry operations permitted by the order;
- (c) applying in relation to any consent under paragraph (a) and to applications for such consent, any of the provisions of the Act relating to permission to develop land and to applications for such permission, subject to such adaptations and modifications as may be specified in the order;
- (d) the payment by the Authority, subject to such exceptions and conditions as may be specified in the order, of compensation in respect of material damage or expenditure caused or incurred in consequence of the refusal of any consent required under the order or of the grant of any such consent subject to conditions.

(2) A tree preservation order shall not apply to the cutting down, topping or lopping of trees —

- (a) that are dying or dead or have become dangerous;
- (b) in compliance with any obligation imposed by any other written law; or
- (c) so far as may be necessary for the prevention or abatement of a nuisance.

Building Preservation Order

12. A building preservation order made pursuant to section 48 of the Act shall specify the building to be preserved under the order and may in particular make provision for —

- (a) requiring the consent of the Authority for the execution of works of any description specified in the order;
- (b) applying in relation to a consent referred to in paragraph (a) and to applications for such consent, any provision of the Act relating to permission to develop land and to applications for such permission, subject to such adaptations and modifications as may be specified in the order;
- (c) enabling the Authority where any works referred to in paragraph (a) have been executed in contravention of the order, to require the restoration of the building to its former state and for that purpose, for applying any of the provisions of Part VI of the Act with respect to enforcement notices, subject to such adaptations and modifications as may be specified in the order;
- (d) the payment by the Authority, subject to such exceptions and conditions as may be specified in the order, of compensation in respect of material damage or expenditure caused or incurred in consequence of the refusal of any consent required under the order or of the grant of any such consent subject to conditions.

Notice to owners and occupiers

13.(1) he Authority shall, before making a tree preservation order or a building preservation order, serve a notice on the owners or occupiers of land affected by such order, of its intention to make such order.

- (2) A notice under sub-regulation (1) shall —

- (a) contain —
 - (i) in the case of a tree preservation order, the matters specified in regulation 11(1) in so far as such matters are applicable to the proposed order; and
 - (ii) in the case of a building preservation order, the matters specified in regulation 13 in so far as such matters are applicable to the proposed order;
- (b) state that the owners or occupiers of the land affected by the proposed order may make objections or representations with respect to the proposed order and specify the time within which such objection or representation may be made.

Objections and representations

14.(1) If within 14 days after service of a notice under regulation 13, any objection or representation with respect to a proposed tree preservation order or building preservation order is made in writing to the Authority, it shall consider the objection or representation and, within 14 days after the making of the objection or representation, make a determination upon such objection or representation.

(2) The Authority shall notify the person who made an objection or a representation, of a determination under sub-regulation (1) not later than 7 days after the making of such determination.

Making, service and operative date of preservation order

15.(1) If within 30 days after service of a notice under regulation 13 —

- (a) no objection or representation with respect to a proposed tree preservation order or building preservation order is made, the Authority shall make the order within 7 days after the expiry of the period of 14 days within which objections or representations could be made;

- (b) any representation or objection is made with respect to a proposed tree preservation order or building preservation order and the Authority makes a determination upon it, the Authority shall make the order within 7 days after —
 - (i) the making of the determination where such determination is not inconsistent with the making of the order; or
 - (ii) where an appeal is made against a determination under subparagraph (i), and the determination of such appeal allows the making of the order, the final determination of the appeal,

whichever is the latest.

(2) An order made under subregulation (1) shall —

- (a) not later than 7 days after it is made, be served on the owners and occupiers of the land to which the order relates and published in the *Gazette*; and
- (b) become operative on the date on which it is made.

Provisional order

16.(1) Notwithstanding regulation 13, where it appears to the Authority that any tree preservation order or building preservation order should take effect immediately, it may make the order provisionally without complying with the requirements of that regulation with respect to the consideration of objections and representations.

(2) A provisional order made under subregulation (1) shall cease to have effect 30 days after the date on which it is made, unless within that period a tree preservation order or building preservation order has been made after compliance with the requirements of regulation 14 with respect to the consideration of objections and representations.

Notice to abate injury caused by waste land etc

17.(1) Where it appears to the Authority that the amenity of an area may be seriously injured by —

- (a) the condition of any garden, vacant site or other open land in the area;
- (b) a building or structure which is in a ruinous or dilapidated condition; or
- (c) rubbish or other material resulting from or exposed by, the demolition or collapse of a building or structure lying on the site or on any adjoining land,

it may, pursuant to section 49 of the Act, serve a notice on the owner or occupier of the land, or the building or structure, or the site or adjoining land, as the case may be, requiring that such steps for abating the injury as may be specified in the notice, be taken.

(2) A notice under subregulation (1) (a) shall specify the —

- (a) the garden, vacant site or other open land to which the order relates; and
- (b) the steps to be taken for abating the injury.

(3) A notice under subregulation (1)(b) shall specify the building or structure to which the notice relates and may in particular require the owner or occupier of such building or structure to —

- (a) execute such works of repair or restoration as may be specified in the notice; or
- (b) if that owner or occupier so elects, to take such steps for demolishing the building or structure, or any part thereof as may be specified in the notice, and removing any rubbish or other material resulting from or exposed by such

demolition followed immediately by the implementation of a landscaping scheme submitted to and approved by the Authority.

(4) A notice under subregulation (1)(c) shall specify the site or land to which the notice relates and may in particular require the owner or occupier of such site or land to take such steps for removing the rubbish or material as may be specified in the notice followed immediately by the implementation of a landscaping scheme submitted to and approved by the Authority.

(5) Where the owner of the land, or the building or structure, or the site or adjoining land, as the case may be, to which a notice under subregulation (1) relates, is unknown or cannot be located, the notice shall be published in a widely circulated, local newspaper.

(6) Sections 51(2), 52(4), 56, 57 and 58 of the Act shall apply to a notice under subregulation (1), subject to such exceptions and modifications as may be specified in the notice, as those sections apply in relation to an enforcement notice served under Part VI.

Appeal against a development decision

18. An applicant aggrieved by the decision of the Authority may appeal to the Appeals Board in such form and manner as may be prescribed.

SCHEDULE 1*[Regulation 2(1)(a)]***Application to Develop Land****FORM OF APPLICATION FOR PERMISSION TO DEVELOP LAND**

P.F. 1 PHYSICAL PLANNING ACT 2021 (Act 56 of 2021); PHYSICAL PLANNING (CONTROL OF DEVELOPMENT) REGULATIONS; PHYSICAL PLANNING (BUILDING) REGULATIONS; PHYSICAL PLANNING (CONTROL OF DEVELOPMENT) REGULATIONS; PHYSICAL PLANNING (DEVELOPMENT AND SUBDIVISION) REGULATIONS

APPLICATION FOR OUTLINE PERMISSION/DETAILED PERMISSION/SUBSEQUENT APPROVAL/
CERTIFICATE OF APPROVAL

Application for to be submitted in quintuplicate with copies of drawings - see First Schedule to the Building Regulations. Site plans only need be submitted in the first instance with applications for OUTLINE PERMISSION. If further plans are required a request will be made by the Planning Authority.

Section A - General (to be completed in all cases with Section H) 1. Name and Address of applicant in BLOCK LETTERS (i.e. the person for whom development will be carried out)

SURNAME (state whether Mr., Mrs or Miss) POOL

OTHER NAMES Antonio, Jean-Claude

POSTAL ADDRESS CASTOR ROAD

Email Address

Tel. Number: 2819144

NAME OF OWNER OF THE LAND (if different from above)

ADDRESS OF OWNER

| | |
|---|-------------------------|
| 2. Indicate the purpose(s) of this application. Answer YES or No to each question. | |
| 3. Address or location of the land to be developed | Victoria, - VICTORIA - |
| 4. Dimensions of the land to which the application relates. | 1072.35, sq. m. |
| 5. Description of the proposed development including the proposed use or uses of each part of the building or land the subject of the application | PROPOSED RETAINING WALL |
| 6. Purpose for which the land (including any buildings) is now used, and if used for more than one purpose, give details | RESIDENTIAL |
| 7. Particulars of applicant's interest in the land (e.g. owner, lessee, prospective purchaser, etc.) | Owner |
| 8. Source of water supply. | 120 |

THE FOLLOWING SECTIONS: B, C, D, E, F AND G NEED NOT BE COMPLETED BY PERSONS MAKING AN OUTLINE APPLICATION FOR THE ERECTION OF BUILDINGS.

Note: Any advertisements, boardings, etc. intended to be displayed on the site of the proposed works should be the subject of a separate application under the Town and Country Planning (Control of Advertisements) Regulations.

| | | | |
|--|---|---|-------|
| Setion B | | | |
| 9. If proposal is of a temporary nature, state period for which permission is sought. | | From May 31 2023 12:00AM to May 31 2023 12:00AM | |
| 10. Does the application involve any new access to a road or any alteration of an existing access? (full details of access width, gradient, etc., to be shown on plans). | | (a) (b) | |
| THE FOLLOWING SECTION C TO BE COMPLETED WHEN THE DEVELOPMENT IS FOR THE ERECTION OF BUILDINGS WITH ELECTRICAL EQUIPMENT. | | | |
| Section C - Electricity requirements | | | |
| 11. (a) Tariff: | | (d) Motors: No 0 | |
| (b) Service: | | Total H.P. | |
| (c) Appliances: Cooker (no.) | 0 | Water Heater (no.) | 0 |
| Air Conditioner (no.) | 0 | Other appliance (description and no) | |
| THE FOLLOWING SECTION D TO BE COMPLETED ONLY W H E N I T I S P R O P O S E D T O M A K E A M A T E R I A L C H A N G E I N T H E U S E O F L A N D O R B U I L D I N G S | | | |
| Section D - Material Change in Use | | | |
| 12. (a) Has the property been used on occasions before the 1st January 2022 or purposes other than the normal use? | | | False |
| (b) If "Yes" give particulars of these occasional uses with dates | | | |
| 13. (a) Has the use to which any part of the property was put on 1st January 2022 been changed since? | | | False |
| (b) If "Yes" give particulars of these changes with dates. | | | |
| THE FOLLOWING SECTION E TO BE COMPLETED WHEN THE DEVELOPMENT ENTAILS THE LAYING OUT OF A NEW STREET | | | |

Note: Any advertisements, boardings, etc. intended to be displayed on the site of the proposed works should be the subject of a separate application under the Town and Country Planning (Control of Advertisements) Regulations.

| | | | |
|--|----------|-------------------------------|-----------------------------|
| SECTION E - New Street | | | |
| 14. (a) Overall width of proposed street, together with widths of carriageway, footpaths and grass verges, if any. | | | |
| (b) Maximum gradient of new street. | | | |
| (c) Specification of construction. | | | |
| THE FOLLOWING SECTION F TO BE COMPLETED WHEN THE PROPOSAL IS OF AN INDUSTRIAL OR COMMERCIAL NATURE | | | |
| SECTION F - Industrial or Commercial | | | |
| 15. The nature of the proposed industry or business including, if for industrial use, a brief description of the type of processes to be carried on. If shop, the types of goods to be sold must be stated. | | | |
| 16. (A) Total industrial floor area | sq. m. | (B) Total floor area | sq. m. |
| 17. The intended provisions for loading, unloading and parking of vehicles. | | | |
| 18. If for industrial use, (a) the means of disposal of trade refuse | | | |
| (b) the means of disposal of trade effluent giving details of its composition. | | | |
| 19. (i) Present number of employees | (a) Male | Less than 6 | (b) Female Less than 6 |
| (ii) Maximum number of employees when proposed development completed and in operation. | (a) Male | Less than 6 | (b) Female Less than 6 |
| 20. The type of any machinery to be installed | | | |
| 21. Means of escape in case of fire. | | | |
| 22. Water supply - (a) daily requirement | | (litres), (b) storage on site | (litres). |
| THE FOLLOWING SECTION G ONLY TO BE COMPLETED WHEN APPLICATION IS BEING MADE FOR APPROVAL OF MATTERS RESERVED BY OUTLINE PERMISSION | | | |

Note: Any advertisements, boardings, etc., intended to be displayed on the site of the proposed works should be the subject of a separate application under the Town and Country Planning (Control of Advertisements) Regulations.

SECTION G - Subsequent Approval

23. In pursuance of the requirements in the permission granted on Outline Application No

dated relating to land at

approval is sought with respect to the matters described in the application and on the attached plans and drawings.

SECTION H - Application

I/We hereby apply for permission to carry out the development or proceed with the works described in this application and on the attached plans and drawings. All notices under the above Act affecting the property described herein may be served upon me/us at the following address until further notice.

(Signed) (Applicant or Agent)

Date

Name

(If signed by an Agent)

Profession ENGINEER

Address Ans Aux Pins Reef Estate

Telephone No. 2511199

Email Address RDM3CONSULTANCY@GMAIL.COM

Note: Any advertisements, boardings, etc. intended to be displayed on the site of the proposed works should be the subject of a separate application under the Town and Country Planning (Control of Advertisements) Regulations.



SCHEDULE 2*[Regulation 2(1)(g)]***CHECKLIST FOR PLANNING APPLICATIONS**



SEYCHELLES PLANNING AUTHORITY (2023 Edition) CHECKLIST FOR PLANNING APPLICATIONS IN CONJUNCTION WITH SCHEDULE 4 OF THE PHYSICAL PLANNING ACT 2021 (Act 55 of 2021) (CONTROL OF THE DEVELOPMENT OF LAND) REGULATION.



Important Notes: Please note that this checklist is a guide. All the agents are requested to submit this checklist upon submission of planning applications. All required documents should be submitted ONLINE. Please check and tick the required items accordingly. After screening your application, the Planning Counter staff at the Planning Authority may request for additional information or appropriate corrections

NB: Each of the following required documents should occupy one sheet.

| REQUIRED DOCUMENTS | Checked by Agent | Checked by P.C Staff | Remarks |
|---|--------------------------|--------------------------|---------|
| 1)P.Application form Completed in full with all the relevant sections filled in, in accordance to the Physical Planning (Control of Development) Regulations Note: Client's correct address, email and phone Number is a must. | <input type="checkbox"/> | <input type="checkbox"/> | |
| 2)Environmental Form As per the EP (Act) | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3)Declaration Form (Original Copy) Note: Client's signature mandatory. (If there is more than one owner all who have right on respective land must sign. (if applicable) | <input type="checkbox"/> | <input type="checkbox"/> | |
| 4)Title Deed and Notice of First Registration Registration (Not older than 6 months from date of copy). Should contain certified stamp. *Letter of permission and Transcripts (If applicable) to be notarised. <u>Certification of search will not be accepted</u> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 5)Location Plan *Should contain Survey Division's identification. Show landmarks and access from main road leading to plot coloured in <u>yellow</u> and plot in <u>red</u> . <u>Minimum acceptable size: A3 Paper</u> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 6)Cadastral Diagram | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7)Orthophoto *Should contain Survey Division's identification. | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8)Site Plan Show: (Scale 1:200, 1:250, 1:300, 1:350, 1:400, 1:450, 1:500) Inset for large sites at a readable scale to fit at least 75% of the paper. The site plan should be on one sheet of its own. | <input type="checkbox"/> | <input type="checkbox"/> | |

| | | | |
|---|---|---|--|
| <p>*Plot reference, beacon numbers and North point</p> <p>*Position of all existing features in blue: (Man-made and Natural) E.g. Paved areas, existing buildings, power lines, telephone lines, buried services, watercourses and boulders, existing waste water disposal</p> <p>*Dimensions of relevant features, such as buildings soak away pits (from proposal and boundaries)</p> <p>Note: Distance of soak away/drain field from boundaries and buildings to be taken from the edge of the circumference/field of the soak away or drain field and NOT the centre. Min distance should be 4.5metres.</p> <p><u>Dimension showing distances to boundary lines should be taken perpendicular to the boundary line.</u></p> <p>*Roads (R.O.W) and adjoining plots with references: differentiate built, proposed, demarcated on cadastral</p> <p>Distance of the nearest part of the building to the centerline of the road. (where applicable)</p> <p>*Indicate by contour lines, spot levels to describe the topography of the site</p> <p>*Annotate section line of cut for topographical profile (Compulsory for steep sites)</p> <p>*Waste handling facilities especially <u>bin site</u> (E.g. for Commercial Development)</p> <p>*Numbered Parking spaces</p> <p>* Area of sealed surfaces of proposed and existing structures</p> | | | |
| <p>9)Layout Plans 1:50,1:75, 1:100,1:150 scale must be legible</p> |  |  | |

| | | | |
|--|---|---|--|
| <p>*Plans of every floor and roof.</p> <p>*Dimensions of each room, walls and openings. 3 levels dimensions (Internal/External dimensions of the whole length of the building, dimensions for the interior building, dimensions for wall, windows, doors)</p> <p>* Planned use of each room should be indicated and legible</p> <p>*Fixed equipment for sanitary accommodation, waste appliances, heat producing appliances, ventilators</p> <p>*Position of waste, sewer, rainwater and ventilation pipes. (Indicated by appropriate colours)</p> <p>*All steps, stairways, landings, handrails, ramps and balconies</p> <p>*Location and type of fire-fighting equipment and fire exit signs (Commercial/Industrial development)</p> <p>*Plumbing details with arrangements for mains and for cistern supply and Electrical legend</p> <p>*Position and direction of cut for the section.</p> <p>*Area of each room to be stated/stipulated on layout plans.</p> <p>Note that Min. areas & dimension of habitable rooms to be as per Building Regulations</p> | | | |
| <p>10)Elevation Plans Scale 1:50, 1:75, 1:100, 1:150</p> <p>*Show Elevation Marks/Heights</p> <p>*Labelled in accordance to floor layout</p> <p>*Show colour scheme on at least one elevation on all sets of</p> |  |  | |

| | | | |
|---|---|---|--|
| drawings (for commercial & residential development) | | | |
| 11) Sections Scale 1:50, 1:75, 1:100 Drawing must be legible * 1:50 (AE) *Shown in relation to the position and direction of cut on the layout *Position of damp proof courses/membranes and any other barriers with dimensions of floors *Materials of construction and anti-termite treatment and anti-weathering measures *Floor and ground levels in relation to each other, all details of construction (Raised by 1m in flood prone areas) *Span of cantilevered floor *Provision made in the structure for insulation against transmission of airborne sound (E.g. in discotheques pray halls) and for protection against fire *Legible section through stairway/staircase Note that headroom to be min. of 2.1m vertical height as per Building Regulations * Width of Stairway/Staircase to be as per Building Regulations *Show /Heights *Soak away/ Septic tank/ Drainfield or any other water disposal facilities (Clearly indicating dimensions & capacity) *Existing and proposed topography terrain slope profile *Cistern dimensions and construction details |  |  | |

| | | | |
|---|----------------------|----------------------|--|
| <p>*Roof details, finishes to walls, ceilings and soffits Purlins, rafters, truss, eaves, fascia board, wall plate, including Dimension of overhang</p> <p>*Headroom in attic (if applicable)</p> | | | |
| <p>Other Details</p> <p>*Road/ Access details</p> <p>*Waste water disposal facilities</p> <p>*Retaining walls (Above 1.5m should be submitted accompanied with an Engineer's Certificate)</p> <p>*Section, positioning and elevation of bins</p> <p>*Boundary Walls Maximum height 1.8m (Facing roads: 1.5m block work and 0.3m decorative features)</p> <p>Photos of the proposal/s having been pegged together with the nearest beacons and site signage post of the proposed development</p> <p>Ventilation: Openings to be at least 1/6 of total floor area of the room if opening is in one wall only and at least 1/8 of total floor area of the room if openings are in two or more walls, as per Building Regulations</p> <p>*Provision of lifts and disabled access for public buildings as per Building Regulations</p> | <input type="text"/> | <input type="text"/> | |
| <p>11) Documents</p> <p>*Company certificate of appreciation</p> <p>*Nationality Applicable for all Applicants) valid ID</p> <p>*Copies of first two pages of valid passport.</p> | <input type="text"/> | <input type="text"/> | |
| <p>12) Project Brief (must include the following details</p> <p>*Project Business Plan</p> | <input type="text"/> | <input type="text"/> | |

| | | | |
|---|--|--|--|
| <p>*Investment Value</p> <p>*Project Description</p> <p>*Sources of Finance</p> <p>*Employment During Construction (Foreign and Local)</p> <p>*Job Creation During Operation</p> <p>*Yearly cash flow</p> | | | |
|---|--|--|--|

DECLARATION BY AGENTS

I / We being the Architect/ Engineer/ Land Surveyor Draughtsman and acting as Agent for

..... in respect of the proposed development namely

..... at

..... hereby declare that;

- 1) The above information and site plan provided is correct and accurate.
- 2) I accept the consequences that the Planning Authority might impose if I provide false information.
- 3) I will attend to any amendments required by the Planning Authority within the prescribed period.

Agent –Signature

Name:
(Capital letters)

Date:

Application checked by: (FOR
OFFICE USE)

Planning Counter Staff- Signature

Date:

Application checked by:

Planning Counter Staff –Signature

Name:

Date:

SCHEDULE 3*[Regulation 3]***Application For Minor Works**

CHECKLIST FOR PLANNING APPLICATIONS IN CONJUNCTION WITH SCHEDULE 4 OF THE PHYSICAL PLANNING ACT 2021 (Act 55 of 2021) (CONTROL OF THE DEVELOPMENT OF LAND) REGULATION.

Important Notes:

Please note that this checklist is a guide. All the agents are requested to submit this checklist upon submission of planning applications. All required documents should be submitted ONLINE. Please check and tick the required items accordingly. After screening your application, the Planning Counter staff at the Planning Authority may request for additional information or appropriate corrections

NB: Each of the following required documents should occupy one sheet.

PART I

1.(1) The following development shall be considered Minor Works under Regulation 3 subject to the conditions set out opposite the description of that development in column 2.

(2) The references in that column to standard conditions are to the conditions numbered and set out in Part II.

2. In these regulations “curtilage” in relation to a dwelling house means the area around the dwelling house.

| Column (1) Description of Development | Column (2) Conditions |
|--|--------------------------|
| Class I - Development within the curtilage of a dwelling house 1. The enlargement, improvement or other alteration of a dwelling house so long as the enlargement, improvement or other alteration is not or does not consist of a container or a satellite dish and the original dwelling house (as ascertained by external measurement) is not exceeded by more than 40 sqm, provided that the erection of a garage, stable, loosebox, or coach -house within the curtilage of the dwelling house shall be treated as the enlargement of the dwelling house for the purpose of this permission. | |

| <p>2. The erection, construction or placing, and the maintenance, improvement or other alteration, within the curtilage of a dwelling house, of any building or enclosure (other than a dwelling, garage, stable, loosebox or coach - house) required for a purpose incidental to the enjoyment of the dwelling house as such, including the keeping of poultry, bees, pet animals, birds or other livestock for the domestic needs or personal enjoyment of the occupants of the dwelling house provided:</p> | |
|---|---|
| <p>Column (1) Description of Development</p> | <p>Column (2) Conditions</p> |
| <p>that the building or enclosure is not or does not consist of a container or a satellite dish.</p> <p>Class II - Sundry minor operations The erection or construction of gates, fences walls or other means of enclosure not exceeding 1.5m in height and the maintenance, improvement or other alteration of any gates, fences, walls or other means of enclosure.</p> <p>Class III - Temporary buildings. The erection or construction on land in, on, over or under which operations, other than mining operations, are being or about to be carried out in pursuance of planning permission granted under Part IV of the Act, of buildings, works plant or machinery needed temporarily in connection with those operations, for the period of such operations.</p> <p>Class IV - Forestry buildings and works The carrying out on land used for the purposes of forestry (including afforestation) of building and other operations (other than the provision or alteration of dwellings) requisite for the carrying on of those purposes, and the formation, alteration and maintenance of private ways on such land.</p> | <p>1. Such buildings, works, plant or machinery shall be removed at the expiration of that period. 2. Standard conditions 1 and 2.</p> <p>1. The height of any buildings or works within 3.2 km of the perimeter of an aerodrome shall not exceed 3m. 2. No part of any buildings (other than movable structures) or works shall be within 24m of the metalled portion of any road used by vehicular traffic. 3. Standard conditions 1 and 2.</p> |

| Column (1) Description of Development | Column (2) Conditions |
|---|--|
| <p>Class V - Agricultural zones</p> <p>The carrying out in agricultural zones, as defined in the development plan in force, of building or engineering operations requisite for the use of that land for the purposes of agriculture, other than the placing on land of structures not designed for these purposes or for the provision and alterations of dwellings.</p> | <ol style="list-style-type: none"> 1. The ground area covered by any building erected pursuant to this per - mission shall not, either by itself or after the subsequent additional thereto exceed 186 sqm. 2. The height of any building or works shall not exceed 6m. 3. No part of any building (other than movable structures) shall be within 24m of any road used by vehicular traffic. 4. All materials used in the construction of the wall and roof of such development shall be approved by the planning authority. 5. Standard Conditions 1 and 2. |

PART II

| Column (1) Description of Development | Column (2) Condition |
|---|--|
| <p>Dwelling houses under 150 sqm. of collective floor area.</p> | <ol style="list-style-type: none"> 1. Provided that the dwelling house is for the personal occupation of the applicant. |

| Column (1) Description of Development | Column (2) Conditions |
|--|--|
| | <p>3. Authorisation is obtained from the planning authority upon the undertaking of the application to:</p> <ul style="list-style-type: none"> (a) comply with the provisions of the development Plan in force; (b) comply with the requirements of public health, department of environment and department of transport; (c) comply with standards as published from time to time by the planning authority regarding the construction and finish roofs, walls and foundations, or comply with other type plans authorised by the planning authority. <p>4. Standard Conditions 1 and 2.</p> |

PART III

Standard Conditions

1. The permission shall not authorise any development which involves the formation, laying out or material widening of a means of access to any road used by vehicular traffic.

2. No development shall be carried out which creates an obstruction to the view of persons using any road used by vehicular traffic at or near any bend, corner, junction or intersection so as to be likely to cause danger to such persons.

SCHEDULE 4*[Regulation 4]***Form for Public Consultation Comments**

COMMUNITY CONSULTATION ON PLANNING APPLICATIONS – SUBMISSION FORM

PLANNING APPLICATIONS DETAILS

Please provide the details of the planning application you are submitting feedback on. If you wish to provide feedback on multiple planning applications, please submit these separately.

DEVELOPMENT APPLICATION

Click or tap here to enter text.

NUMBER *Required (if known) (eg: DC/25/20...)

PROPERTY ADDRESS

Click or tap here to enter text.

*Required

YOUR DETAILS

Please note that for your feedback to be considered, your full contact details must be provided. This information will be treated as confidential and will not be published or linked to your comments in any public report on the outcomes of the consultation. **Only one submission per person will be accepted.**

NAME *Required**FIRSTNAME**

Click or tap here to enter text.

LASTNAME

Click or tap here to enter text.

ORGANISATION/BUSINESS NAME (if applicable)

Click or tap here to enter text.

POSTAL ADDRESS *Required

Click or tap here to enter text.

STREET ADDRESS

Click or tap here to enter text.

COUNTRY

Click or tap here to enter text.

EMAIL *Required

Click or tap here to enter text.

PHONE

Click or tap here to enter text.

PROPERTY AFFECTED BY THIS PLANNING APPLICATION

(If different from your postal address)

STREET ADDRESS

Click or tap here to enter text.

DISTRICT

Click or tap here to enter text.

SUBDISTRICT

Click or tap here to enter text.

Please ensure your comments relate to specific design elements of the planning application and how these may impact either your own property, or the streetscape in general. You may attach additional information (plans, diagrams, photographs, etc.) as required.

NOTE: The Seychelles Planning Authority cannot consider feedback that relates to civil or non-planning matters, such as the perceived impact on property values, potential residents/tenants or dividing fences.

Have you viewed the development plans for this planning application?

*Reviewed

Yes

☐

No

☐

A copy of the development plans may be viewed at the Office of the

Do you support or oppose this planning application? *Required

Support

☐

Neutral

☐

Oppose

☐

YOUR COMMENTS

Click or tap here to enter text.

-
- Do you wish to be informed via email of the progress and outcome of this planning application? *Required

Yes

☐

No

☐

SCHEDULE 5*[Regulation 7]***Application for Conceptual Approval of Development****APPLICATION FORM FOR CONCEPTUAL APPROVAL****DETAILED PERMISSION/ SUBSEQUENT APPROVAL/ CERTIFICATE OF APPROVAL**

Application form to be submitted with copies of drawings

Site plans only need be submitted in the first instance with applications for CONCEPTUAL APPROVAL. If further plans are required a request will be made by the Planning Authority.

Section A — General (to be completed in all cases with Section H)

Name and address of applicant in BLOCK LETTERS (i.e. the person for whom development will be carried out).

SURNAME (Mr/Mrs/Miss/Ms.)

OTHER NAMES.....

POSTAL ADDRESS.....

Email Address..... Tel. Number:

NAME OF OWNER OF THE LAND (if different from above)

ADDRESS OF OWNER.....

2. Indicate the purpose (s) of this application.

Answer YES or NO to each question.

Is this

(a) An conceptual planning application for ere buildings?

(b) A detailed planning application?.....

(c) An application for subsequent approval of m by an conceptual approval?

(d) An application for a change of use only ?

(e) An application for approval of plans under Building Regulations?

3. Address or location of the land to be developed.

4. Dimensions of the land to which the application relates.

Areasq. m.. Frontage.....

Depth m.

5. Description of the proposed development including the proposed use or uses of each part of the building or land the subject of the application.

6. Purpose for which the land (including any buildings) is now used, and if used for more than one purpose, give details.

7. Particulars of applicant's interest in the land (e.g. owner, lessee, prospective purchaser, etc.)

THE FOLLOWING SECTIONS: B, C, D, E, F AND G NEED *NOT* BE COMPLETED BY PERSONS MAKING AN *OUTLINE APPLICATION* FOR THE ERECTION OF BUILDINGS.

Section B

| | |
|--|-------------------------------------|
| 8. Source of water supply | |
| 9. If proposal is of a temporary nature, state period for which permission is sought. | |
| 10. Does the application involve any new access to a road or any alteration of an existing access? (full details of access width, gradient, etc., to be shown on plans). | (a) Pedestrian (b) Vehicular |

THE FOLLOWING SECTION C TO BE COMPLETED WHEN THE DEVELOPMENT IS FOR THE ERECTION OF BUILDINGS WITH ELECTRICAL EQUIPMENT.

Section C —Electricity requirements

11. (a) Traiff: Domestic/Commercial
 (b) Service: Single Phase/Three Phase
 (c) Appliances: cooker (No)..... Water Heater (no.)
 (d) Motors: No.....
 Total H.P
 Air Conditioner (no.) I Other appliance (description and no.).....

THE FOLLOWING SECTIONS: B, C, D, E, F AND G NEED *NOT* BE COMPLETED BY PERSONS MAKING AN *OUTLINE APPLICATION* FOR THE ERECTION OF BUILDINGS.

Section B

| | |
|--|-------------------------------------|
| 8. Source of water supply | |
| 9. If proposal is of a temporary nature, state period for which permission is sought. | |
| 10. Does the application involve any new access to a road or any alteration of an existing access? (full details of access width, gradient, etc., to be shown on plans). | (a) Pedestrian (b) Vehicular |

THE FOLLOWING SECTION C TO BE COMPLETED WHEN THE DEVELOPMENT IS FOR THE ERECTION OF BUILDINGS WITH ELECTRICAL EQUIPMENT.

Section C —Electricity requirements

11. (a) Traffic: Domestic/Commercial
 (b) Service: Single Phase/Three Phase
 (c) Appliances: cooker (No.)..... Water Heater (no.)
 (d) Motors: No.....
 Total H.P
 Air Conditioner (no.) I Other appliance (description and no.).....

SCHEDULE 6*[Regulation 11]***REVOCATION OR MODIFICATION NOTICE****Physical Planning (Revocation or Modification) Notice**

The Planning Authority, in exercise of the powers conferred by section 44 of the Physical Planning Act, 2021 hereby make the following Notice —

The Authority may, if it is of the opinion that any permission granted to develop land is subject to any of the grounds listed under section 44(1) (a), (b), (c), or (d) revoke or modify any such permission granted to develop land and the notices for such revocation or modification shall be as set out in the form and manner respectively —

FORM 1**REVOCATION NOTICE**

THIS IS A NOTICE FOR THE REVOCATION OF PERMISSION GRANTED TO DEVELOP LAND PURSUANT TO SECTION 44 OF THE PHYSICAL PLANNING ACT, 2021

The authority hereby brings to the notice of:

Owner/Developer of the Parcel of Land:

With regards to the Planning Approval Reference:

For the Development of:

That you are hereby notified as follows: —

That the Authority after further considering the permission granted to you to develop land referred to above, it has come to our attention that the permission was granted on the basis (list which grounds S.44(1) (a) to

(d)) and that based on this/these ground(s), the Authority HEREBY REVOKES the permission to develop the land referred to above.

We bring to your attention that under section 44(4) of the Act a person aggrieved by a revocation or modification under subsection (1) may appeal to the Appeals Board in such form and manner as may be prescribed.

The revocation takes effect as of2023.

Signed by:

FORM 2

MODIFICATION NOTICE

THIS IS A NOTICE FOR THE MODIFICATION OF PERMISSION GRANTED TO DEVELOP LAND PURSUANT TO SECTION 44 OF THE PHYSICAL PLANNING ACT, 2021

The authority hereby brings to the notice of:

Owner/Developer Of the Land Parcel:

With regards to the Planning Approval Reference:

For the Development of:

That you are hereby notified as follows: —

That the Authority after further considering the permission granted to you to develop land referred to above, it has come to our attention that the permission was granted on the basis (list which grounds s.44 (1) (a) to (d)) and that based on this/these ground(s), the Authority HEREBY MODIFIES the permission to develop the land referred to above as follows:

Modification of Permission to Develop Land:

We bring to your attention that under section 44(4) of the Act a person aggrieved by a revocation or modification under subsection (1) may appeal to the Appeals Board in such form and manner as may be prescribed.

The Modification takes effect as of20.....

Signed by:

SCHEDULE 7

[Regulation 12 and 13]

PRESERVATION ORDER

Physical Planning (Control of Development of Land) Preservation Order

The Planning Authority, in exercise of the powers conferred on them by section 48(1)(a), (b) or (c) of the Physical Planning Act, 2021 hereby make the following Order —

1. The [*Title of Order (including year)*] Specify if the Preservation Order if it relates to —

- (a) Tree, Trees Woodland;
- (b) any natural feature, such as rock boulders, or feature of historic interest;
- (c) building of special architectural or historic interest.

Title of Order: _____

The details of the subject matter of the Preservation Order shall be set out in the form and manner as set out in Form 1.

2. No person shall —

- (a) cut down, top, lop, uproot, wilfully damage, or wilfully destroy; or cause or permit the cutting down, topping, lopping,

uprooting, wilful damage or wilful destruction of, any tree, groups of trees or woodlands specified in the Schedule to this Order;

- (b) conduct any works or development on or around any natural feature, such as rock boulders, or feature of historic interest specified in the Schedule to this Order;
- (c) conduct any works or development on or around any building of special architectural or historic interest specified in the Schedule to this Order except with the written consent of the Authority in accordance with regulations 12 and 13, where such consent is given subject to conditions, in accordance with those conditions;

3. An application to conduct any works or development on or around any —

- (a) trees;
- (b) any natural feature, such as rock boulders, or feature of historic interest;
- (c) building of special architectural or historic interest;

in relation to a Preservation Order shall be made to the Authority in the form and manner as specified in Form 2.

4. An Order made by the Authority shall take effect on the date it is signed and dated by the Authority.

5. Any person affected by this Order may appeal to the Appeals Board as provided for under section 48(2) Of the Act.

6. A Tree Preservation Order (tree only??) does not protect trees from felling where a **new development** has been granted planning permission by the Planning Authority, if the tree's presence would impede the implementation of that planning permission.

FORM 1

Preservation Order Number (District/Location/Date) :

Location of the subject matter of the Preservation Order in Question:

Owners of the subject matter of the Preservation Order in Question (if known):

Description of type of the subject matter of the Preservation Order in Question:

Additional Preservation Conditions:

FORM 2

Application to conduct works on or to undertake any development within the proximity of anything subject to a Preservation Order.

Name of Applicant:

Name/Number of Preservation Order:

Owners of the subject matter of the Preservation Order in Question (if known):

Consent of owner for such works or development (if applicable):

Type of works to be carried out or type of development within the proximity of those things subject to a preservation order:

Applicant should submit a plan (which will assist the Authority in making a timely decision on the application) of the area demarcating the trees that will be subject to any work or the areas that would be subject to any development that may necessitate any work or any trees subject to a Preservation Order.

MADE this 23rd day of October, 2023.

**BILLY RANGASAMY
MINISTER OF LANDS AND HOUSING**

S.I. 90 of 2023**PHYSICAL PLANNING ACT, 2021***(Act 55 of 2021)***Physical Planning (Land Use and Development Plans)
Regulations, 2023****Arrangements of Regulations****Part I - Preliminary****Regulations**

1. Citation
2. Regulation

**Part II - Form and Composition of Land Use Plans, Scheme Map, and
Scheme Text*****Sub-Part I - Land Use Plans***

3. Form of National land use plans
4. Composition of land use plans

Sub-Part II - Scheme Map

5. Composition of Scheme Maps

Sub-Part III - Scheme Text

6. Composition of Scheme Text

**Part III - Procedure for Preparation and Approval of
Land Use Plans**

7. Land use plan preparation
8. Draft land use plan publication
9. Objections and representations
10. Land use plan approval

Part IV - Use of Land***Sub-Part I - Development Plot Coverage***

11. Development plot coverage
12. Plot coverage for natural vegetation landscaping

13. Building Height
14. Subdivisions

Sub-Part II - Change of Use & Use Variances

15. Change of use
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SCHEDULES

Schedule 1 - Classification of Land Uses

Schedule 2 - (1) Maximum Development plot coverage and (2) Surface Types and Materials

Schedule 3 - Hazard Considerations for No Development Zones

Schedule 4 - National Strategic Land Use and Development Framework

Schedule 5 - Use Variance Application Form and Use Variance Conditions

S.I. 90 of 2023**PHYSICAL PLANNING ACT, 2021***(Act 55 of 2021)***Physical Planning (Land Use and Development Plans) Regulations, 2023**

In exercise of the powers conferred by section 82 read with section 22 of the Physical Planning Act, 2021, the Minister of Lands and Housing makes the following regulations —

Part I - Preliminary**Citation**

1. These Regulations may be cited as the Physical Planning (Land Use and Development Plans) Regulations, 2023.

Interpretation

2. In these Regulations, unless the context otherwise requires —

“buildable area” is that portion of a development site where construction can legally and reasonably occur;

“change of use” means when the use of a building is altered or replaced by another use;

“development plot coverage” means a measure of the proportion of the site area covered by permanently sealed surfaces as determined under schedule 2.

“hazard” means a dangerous phenomenon, substance, human activity, or condition that may cause loss of life, injury or other health impact, property damage, loss of livelihood and services, social and economic disruption, or environmental damage;

“land” includes land covered with water, the sea-bed, and any building or other thing attached to land or permanently fastened to anything attached to land;

“land use” means the use of land, *inter alia* for residential, industrial or commercial purposes, for farming or forestry, for recreational or conservation purposes;

“no-development zone” means land declared by the Minister under section 32 of the Act or under which no development shall be carried out;

“non-conforming use” means a use of land which, though lawful immediately before the coming into operation of this regulation is not in conformity with the provisions of these Regulations;

“overlay layer” means an additional layer of planning control applied to land in a clearly defined geographic area;

“risk” means the combination of the probability of an event and its negative consequences;

“scheme map” means a map indicating all zonings within a district or group of islands to which the land use plan relates;

“scheme text” means a legal document that controls how land in a particular district, zone, or group of islands in Seychelles can be used and developed;

“split-use” means a parcel falling in more than one land use classification;

“use variance” is a permit that allows a use that is otherwise not permitted by the zoning table of the scheme text provided for under Schedule 1;

“zoning table” means the table that indicates, subject to the provisions of the scheme text, the uses permitted in the land use classification as provided for under Schedule 1.

Part II - Form and Composition of Land Use Plans, Scheme Map, and Scheme Text

Sub-Part I - Land Use Plans

Form of National Land Use Plans

3.(1) The national land use plan prepared by the Authority under section 23 of the Act shall consist of a compilation of all the land use plans for the districts, zones, and groups of islands.

(2) The national land use plan referred to in sub-regulation (1) shall be presented digitally, on an official government website.

Composition of Land Use Plans

4.(1) A land use plan for a district, zone, or group of islands, prepared under section 22 of the Act shall compose of scheme maps and scheme texts indicating the matters as specified under subsection 22(2).

(2) A land use plan referred to in subregulation (1) shall —

- (a) be classified in one or more of the categories of land uses indicated in Column 1 of Schedule 1 and;
- (b) indicate the prescribed minimum subdivision size and maximum development plot coverage according to the land use classification of the district, zone, or islands to which the land use plan relates as indicated in Schedules 2;
- (c) indicate no-development zones as an overlay layer taking into considerations the hazard and risk considerations as specified under Schedule;
- (d) indicate sites of construction of proposed roads, alterations of existing roads, and road reserves for new roads;
- (e) indicate development plans under the scheme text; and
- (f) indicate any public easement rights towards the sea, land, or otherwise as an overlay layer.

Sub-Part II - Scheme Map

Composition of Scheme Maps

5.(1) A scheme map for a district, zone, or group of islands, shall comprise of —

- (a) a map of land use classified in one or more of the categories of land uses indicated in Column 1 of Schedule 1;
- (b) overlay layers referred to in regulation 6(c);
- (c) legend of land use classification;
- (d) map scale; and
- (e) cardinal points.

Sub-Part III - Scheme Text

Composition of Scheme Text

6. A scheme text for a district, zone, or group of islands shall comprise of —

- (a) information about long-term planning strategies;
- (b) description of planned infrastructure development of a particular area;
- (c) list and description of overlay layers;
- (d) zones and the use of land zoning table;
- (e) environmental assets;
- (f) special control areas;
- (g) heritage protection sites; and
- (h) development plans.

Part III - Procedure for Preparation and Approval of Land Use Plans

Land Use Plan Preparations

7.(1) The Authority shall, in the course of preparing a land use plan for a district, zone, or group of islands or a national land use plan pursuant to section 23 or updating or reviewing a plan pursuant to section 24, consult with relevant persons or bodies including —

- (a) key stakeholders;
- (b) district and other authorities;
- (c) government ministries and departments;
- (d) parastatal organisations; and
- (e) civil society organisations.

(2) In addition to sub-regulation (1) the Authority shall, in the course of preparing, updating and reviewing a land use plan —

- (a) consider all existing data and relevant documents available for each district, zone and island or group of island, with reference to the national strategic framework summarized in Schedule 4;
- (b) assess the specificity of each district in terms of population, local aspirations, and socio-economic priorities;
- (c) consult and consider all available hazard, risk, and climate change data and information pertaining to the district, zone, and island or group of islands and subject to the criteria and requirements of Schedule 3, demarcate the hazard and related zones;
- (d) designate zoning and land use classifications for the district, zone, and island or group of islands;

- (e) ensure that all land will be zoned in order to achieve sustainable development of Seychelles whilst taking the present use into account;
- (f) ensure that any development or change in land use must not result in any increase in risk of hazard;
- (g) ensure that all land will be zoned according to, among other things, the level of hazard to which the land is exposed and a developer shall be responsible to demonstrate beyond reasonable doubt that the proposed development within a given area will not increase risk and how this will be achieved;
- (h) ensure that all development or land use change proposals in identified hazard-prone areas must include a risk assessment and a drainage strategy and this will apply whether the proposal is a government-led or private development and to all permanent buildings and structural changes.

(3) The Authority shall publish the draft land use plan for the district, zone, island, or group of islands with members of the public digitally, inviting the public to file their objections and comments within 30 days of its publication.

(4) The Authority shall give notice to the public of the publication of the land use plan for their inspection.

Draft Land Use Plan Publication

8. Subject to regulation 7 (1), where —

- (a) a land use plan for a district, zone, or island is prepared pursuant to section 22 of the Act; or
- (b) a national land use plan is prepared pursuant to section 23 of the Act;

- (c) a land use plan for a district, zone or island or a national land use plan is updated pursuant to section 24 and the update involves a change of classification of land use; or
- (d) a land use plan is reviewed pursuant to section 25 of the Act,

the Authority shall cause to be published in the national media and the Authority's website and other referral agencies' websites, a notice —

- (i) that the Authority has prepared a plan referred to in paragraphs (a), (b), (c), or (d);
- (ii) of the place or places where copies of such plan may be inspected by the public; and
- (iii) that any person may make objections or representations in writing to the Authority with respect to such plan.

Objections and Representations

9.(1) Any objections shall be made in writing to the Authority, within 30 calendar days of the first publication of a notice under regulation 8.

(2) If within 30 calendar days of the first publication of a notice under regulation 8, any objection or representation with respect to a plan made in writing to the Authority, the Authority shall consider the objection or representation and make a determination upon such objection or representation specifying the reasons therefore.

(3) If as a result of any objection or representation considered under subregulation (2), the Authority is of the opinion that any person or authority ought to be consulted, the Authority shall before they make any determination, consult with that person or authority but shall not, be obliged to consult any other authority or person, or to afford any opportunity for further objections or representations.

(4) After considering any representation or objection and making any necessary determination the Authority shall finalise the land use plan.

Land Use Plan Approval

10.(1) The Authority shall, upon finalisation of the land use plan under regulation 9, present it to the Minister for approval as provided under section 28.

(2) A land use plan, national land use plan, update, review or part of such plan, update or review shall be published in the *Gazette*, which become operative on the date on which it is so published.

Part IV - Use of Land

Sub-Part I Development Plot Coverage

Development plot coverage

11.(1) An application to develop land shall be in accordance with the development plot coverage limit as specified under Schedule 2.

(2) The development plot coverage is expressed as a percentage of the total area of sealed surfaces over parcel size or buildable area which is calculated using the following formula —

Formula:

$$\textbf{Percentage of Development Plot Coverage} = \frac{A + B}{\text{Area of Parcel}} \times 100$$

(3) Where the development plot coverage is spread across split-use parcels the calculation shall be as calculated using the following formula:

Formula:

$$\textbf{Development Plot Coverage Formulae} = \frac{A+B}{Y} \times 100$$

Where “Y” is the Area of the Land use classification polygon within the parcel in question.

(4) The development plot coverage of a particular parcel shall be determined by the land use classification in accordance with Schedule 1.

(5) Where a parcel is classified in more than one land use, and the

proposed development is on one land use only, the calculation shall be based on that land use only.

(6) Where the proposed development is on more than one land use, the calculation shall be based on the land use where the majority of the building footprint is being proposed.

Plot coverage for natural vegetation landscaping

12. Subject to regulation 11, Schedule 2 (1), Column 4 illustrates the remaining percentage of non-developed area that shall be used for the purpose of natural green landscaped vegetation, to provide environmental, ecological and social functions and this may include, but is not limited to —

- (a) provide shade;
- (b) water filtration & storage;
- (c) reduce surface runoff through rainwater infiltration;
- (d) atmospheric remediation;
- (e) ecosystem services;
- (f) aesthetics; and
- (g) wellbeing.

Building Height

13. Maximum permitted building height shall be determined by considering, on a case-by-case basis —

- (a) existing local area character;
- (b) surrounding development;
- (c) topography;
- (d) land use classification;

- (e) skyline;
- (f) visual impact;
- (g) consistency of building lines;
- (h) strategic views;
- (i) local street views;
- (j) the potential effect of overshadowing neighbouring properties;
- (k) micro-climatic factors; and
- (l) the relationship of height to frontage width and building depth.

Sub-Divisions

14. All sub-divisions shall be according to the minimum plot sizes established according to Schedule 2 (1), (column 5).

Sub-Part II - Change of Use & Use Variances

Change of Use

15. Any change of use of a building may be approved if the new use is permitted in the zoning table of the scheme text.

Use Variances

16.(1) A person may apply for a use variance by application to the Authority in the prescribed form provided under Schedule 5.

(2) Grant of a use variance shall be determined on the conditions stipulated in Schedule 5 row 1, and approval by the planning authority following the criteria in Schedule 5 row 2.

(3) A use variance application is not subject to appeal.

Non-Conforming Uses

17.(1) Except as otherwise provided in this regulation, no provision of this regulation is to be taken to prevent —

- (a) the continued use of any land for the purpose for which it was being lawfully used immediately prior to the gazettal date; or
- (b) the carrying out of any development on that land for which, immediately prior to the gazettal date, an approval or approvals, lawfully required to authorize the development to be carried out, were duly obtained and are current.

Extensions and Changes to a non-conforming Use

18. A person shall not —

- (a) alter or extend a non-conforming use in relation to a building, unless such building or structure is changed to conform with the applicable land use specifications;
- (b) erect, alter, or extend a building used in conjunction with or in furtherance of a non-conforming use; or
- (c) change the use of land from a non-conforming use to another non-conforming use, unless the proposed use is less detrimental to the amenity of the locality than the existing non-conforming use and is closer to the intended purpose of the zone;
- (d) an application for planning approval under this regulation shall be in accordance with section 36 of the Act;

Discontinuance of non-conforming use

19. Where a non-conforming use of any land or buildings has been discontinued for a period of three years (3 years) such land or buildings shall not thereafter be used otherwise than in conformity with the provisions of the scheme text.

Sub-part III - Declaration of No Development Zones**No Development Zones**

20.(1) No development zones shall be —

- (a) represented as an overlay layer in land use plans and such overlay layers do not entail the obligation for re-classification of zoning categories;
- (b) are excluded from any compensation payments as stated in section 53 of the Act; and
- (c) pursuant to section 32 of the Act, development is prohibited except for those necessary for the national interest, such as but not limited to water catchment structures, access roads, and power infrastructure.

(2) No development zones shall be declared based on the following criteria —

- (a) for areas devastated by natural disasters not suitable for reconstruction;
- (b) areas with a high probability or expected big magnitude of hazard events such as flooding, erosion, landslides; or
- (c) areas that are in general not suitable for settlement such as excessive steepness.

(3) Existing buildings and structures within no-development zones may be allowed to exist but, it shall be prohibited to extend or reconstruct such buildings.

(4) Subject to sub-regulation (3), in the event of destruction of such existing buildings and structures, reconstruction is prohibited.

(5) The Minister may at any time, on the advice of the Authority, reclassify a “No-development Zone” if the following criteria apply —

- (a) the affected area is no longer defined as a high-risk area due to the implementation of long-term protection measures; or
- (b) detailed assessments that have improved the knowledge of the hazard process and have allowed an adjustment of the no-development zone.

SCHEDULE 1**Classification of Land Uses**

| Zone | Zoning Code | Land Use Classification | Code | Description |
|-------------------------|--------------------|---------------------------------------|-------------|--|
| Agriculture & Fisheries | A010 | Intensive Crop Production | A10 | Industrialized crop farming |
| | | Extensive Crop Production | A20 | Small-scale non-industrial crop farming |
| | | Intensive Livestock Production | A30 | Industrialized livestock production (10/+ animals) |
| | | Extensive Livestock Production | A40 | Small-scale livestock (<10 animals) |
| | | Aquaculture | A60 | Places devoted to the process of cultivating aquatic organisms |
| Environmental Zones | J010 | Environmental Assets | J10 | Places devoted to areas of conservation and management of the environment |
| Residential | R010 | Low-density Residential | R10 | refers to residential areas occupied primarily by single-family homes or buildings with a small number of units |
| | | Low-density Residential & Agriculture | R20 | refers to residential areas occupied primarily by single-family homes or buildings with a small number of units with the addition of small scale crop production |
| | | Low-density Residential & Tourism | R30 | refers to residential areas occupied primarily by single-family homes or buildings with a small number of units with the addition of tourism accommodation |
| | | Medium Density Residential | R40 | middle-sized or cluster development that fits between neighborhoods with single family homes |

| | | | | |
|---------------------|------|--|-----|---|
| | | Medium Density Residential & Agriculture | R50 | middle-sized or cluster development that fits between neighborhoods with single family homes with small scale agriculture |
| | | Medium-Density Residential & Tourism | R60 | middle-sized or cluster development that fits between neighborhoods with single family homes with added tourism accommodation |
| | | High Density Residential | R70 | Places devoted to compact residential development |
| Redevelopment Areas | G010 | Strategic Sites | G10 | Developments should seek to optimize use of land through apartment (stacked townhouse, residential block and mixed use block and mixed use block) |
| Tourism | T010 | Tourism Accommodation | T10 | All types of tourism accommodation (not in combination with residential use) |
| Residential | R010 | Outdoor Amenity and Open Spaces | L10 | Intended for outdoor amenity and open spaces e.g. gardens, parks, zoos, picnic areas, and play areas. |
| | | Sports Facilities and Grounds | L20 | Intended for land and water sports facilities e.g. playing fields, stadiums, sports centers, gymnasias, swimming pools, skating rinks, indoor sports, and vehicle race tracks. |
| | | Amusement and Show Places | L30 | Intended for amusement and entertainment places e.g. cinemas, theatres, concert halls and arenas, broadcast studios, dance halls, bingo halls, nightclubs, gaming and gambling clubs, and premises. |

| | | | |
|--------------------|------------------------------------|-----|---|
| Community Facility | Libraries, Museums and Galleries | L40 | Buildings, places, or institutions devoted to the acquisition, conservation, study, exhibition, and educational interpretation of objects having scientific, historical, or artistic value e.g. museums, libraries, art galleries, public and exhibition halls. |
| | Medical and Health Care Facilities | M10 | These are areas used or intended to be used for hospitals, clinics, health stations, asylums/ wellness clinics; morgues; clinical laboratories; medical research institutes; quarantine facilities |
| | Civic & Community Services | M20 | These are areas used or intended to be used mainly for civic, community or cultural facilities or other similar purposes. |
| | Places of Worship | M30 | These are areas used or intended to be used mainly for religious buildings. |
| | Cemetery | M40 | Places for storage and disposal of human remains e.g. mortuaries, chapels of rest, crematoria, cemeteries, and church yards. |
| | Educational | M50 | These are areas used or intended to be used for educational purposes including tertiary education. |

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|-------------------------|------|-----------------------------------|-----|---|
| Physical Infrastructure | B010 | Roads | B10 | means any road whether public or private and includes any street, square, court, alley, lane, bridge, footway, trace, bridle path, passage, or highway, whether a thoroughfare or not; |
| | | Car Parks | B20 | Long and short stay car parks and 'Park and Ride' terminals. |
| | | Air Field | B30 | an area of land designated for the take-off, landing, and maintenance of aircraft. |
| | | Goods & Freight | B40 | These are areas used or intended to be used for Terminals and transshipment places for goods e.g. air freight terminals, rail freight terminals, container depots, docks, railway yards and depots, and customs depots. + Mechanised handling of goods and raw materials e.g. aerial ropeway, conveyor, lift. |
| | | Transport Terminal & Interchanges | B50 | Terminals and transport interchanges for people e.g. airport, ship passenger terminal, railway station, bus station, coach station. |
| Industry & Business | I010 | Large/Heavy Manufacturing | I10 | a category of complex and capital-intensive nature that produces large products and may require large scale facilities and machinery to produce product. Pollution like waste, air and sound are likely to be high. |
| | | Enterprise Centres | I20 | Apart from provision of operating space; workshop, factory floors and common sales outlet, it provides business-related assistance and knowledge to help entrepreneurs run, and grow their business to full potential. May include manufacturing ICT. |

| | | | | |
|--|--|--|-----|--|
| | | Industrial Mixed Use | I30 | Wide range of low-impact uses such as storage, warehouse, wholesale and distribution, production, small manufacturing & artisan production such as food, beverage, printing, apparel, design, laundry, furniture, etc. ... |
| | | Light Scale Industrial Manufacturing/ Services | I40 | any manufacturing industry that does not involved heavy and capital intensive products or production equipment and that do not in their transformation create smoke, gas, odor, dust, noise, vibration of earth, soot or lighting to a degree that is offensive when measured at the property line of adjoining properties |
| | | Commercial & Residential | C10 | These are areas used or intended to be used mainly for commercial development with residential on top floors. |
| | | Commercial | C20 | These are areas used or intended to be used for mainly for commercial development |
| | | Mixed Use | C30 | These are areas used or intended to be used for Mixed Commercial, residential development and any other use compatible with aforementioned. |

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|------------------------|------|-----------------------------------|-----|--|
| Utility Infrastructure | U010 | Power Production and Distribution | U10 | Power stations, using thermal, nuclear, hydroelectric, gas turbine, diesel or renewable sources, for electricity production and generation. |
| | | Sewage Treatment | U20 | All sewage treatment plants |
| | | Water Treatment and storage | U30 | Water treatment and purification facilities, including extraction from springs, rivers or aquifers. + Water storage and distribution places e.g. reservoirs, water towers and pumping stations. |
| | | Solid Waste Management | U40 | Landfill, storage and sorting of solid waste site |
| | | Telecommunications | U50 | Telecommunication facilities for transmitting and receiving messages by telephone, radio, radar, cable, television, microwave and satellite. |
| | | | | |
| Defence/Police | D010 | Defence | D10 | Defence establishments, including camps, airfields, live firing training areas and other defence facilities and places. |
| Unallocated | S010 | Unallocated | S10 | Semi-natural areas of land which are not part of routine cultivations or being grazed and which have never been used for development, including scree, cliff, dunes, marsh and beach and reclaimed land which has not been grazed or developed. + Land or water bodies for which no specific primary use can be determined. |

SCHEDULE 2*[Regulation 4(2) and (6)]***(1) Maximum Development Plot Coverage**

| <u>LAND USE CLASSIFICATION S</u> | <u>MAXIMUM DEVELOPME T PLOT COVERAGE</u> | <u>IF CONNECTED TO CENTRAL SEWER LINE</u> | <u>REMAINING % OF NON- DEVELOPE D AREA</u> | <u>MINIMUM SUBDIVISIO N PLOT SIZE</u> |
|---|---|--|---|--|
| High-density Residential | 45% | 50% | 55-50% | 400m ² |
| Medium-density Residential | 35% | 40% | 65-60% | 600m ² |
| Low-density Residential | 30% | 35% | 70-65% | 1200m ² |
| Tourism | 60% | | 40% | 600m ² |
| Commercial | 60% | | 40% | 400m ² |
| Industrial & Business | 60% | | 40% | 400m ² |
| Community | 60% | | 40% | - |

(2) Surface Types and Materials

One of the main purposes of the *Development Plot Coverage* limitations is to manage stormwater runoff. The table in Schedule 2 (2) is a guide on how different surfaces are counted in the calculation above.

Column A - The area of Sealed and covered surfaces should be taken as 100% of its area, as there is no infiltration.

Column B - The area of Semi-pervious surfaces should be taken as 50% of its total area, as half the precipitation is infiltrated in the soil.

Column C - The area of pervious surfaces/ excluded surfaces should be taken as 0% of its total area, as all precipitation is infiltrated in the soil.

| A | B | C |
|--|---|---|
| SEALED & COVERED SURFACES 100% | SEMI-PERVIOUS SURFACES 50% | PERVIOUS SURFACES/EXCLUDED SURFACES 0% |
| <ul style="list-style-type: none"> • BUILDING FOOTPRINT • BUILDINGS ON COLUMN OVERHANGS EXCEEDING 1M IN LENGTH • ROOF EAVES OVERHANG AND CANTILEVERS EXCEEDING 1M IN LENGTH • CONCRETE PAVEMENT/ DRIVEWAY/ASPHALT ROAD | <ul style="list-style-type: none"> • ARTIFICIAL TURF • ROOF GARDENS • WOODEN DECKING • SWIMMING POOL • PAVING BRICKS | <ul style="list-style-type: none"> • RETAINING WALL • BOUNDARY WALL • SEPTIC TANK • NATURAL UNCOMPACTED SOIL • VEGETATED COVER • ALL-SIZE AGGREGATE • DRAINS/WATER TANKS |

SCHEDULE 3*[Regulations 4(2)(c) and 7(2)(c)]***No Development Zone Hazard & Risk Considerations**

| | |
|-------------------|---|
| Land Use Criteria | <p>1. Any land area receiving a zoning classification in a land use plan that allows development has to be suitable in terms of hazard exposure. This suitability of land for development has to be assessed before a zoning classification is proposed by the Seychelles Planning Authority using the following criteria:</p> <ul style="list-style-type: none"> • <i>Infrastructure</i>: Plots of land need to be already connected to public infrastructure or it has to be feasible to make accessible through private investments. Criteria include road connection accessible for ambulances and the fire brigade, connection to electricity, drinking water supply, and sewage system. • <i>Hazard exposure</i>: Overall, the ground needs to be stable enough to carry and sustain buildings and structures to be suitable for any development. Plots of land with existing significant exposure to natural hazards and where any development will result in an increase in risk, either directly or elsewhere, must not receive a zoning classification that allows development. |
| Requirements | <p>2. Development in moderate and low-hazard areas is subjected to conditional permitting enforcing a site-adapted development that</p> <ul style="list-style-type: none"> • reduces the vulnerability and hazard exposure and • does not contribute to the worsening of hazards and risks. <p>3. Development in high-risk and moderate risk areas that are not declared as no development zones yet, requires a detailed risk assessment and mitigation plan by the applicant. The appraisal of cumulative effects lies within the responsibility of the Seychelles Planning Authority with support from the relevant government agencies.</p> |

SCHEDULE 4*[Regulation 7(2)(a)]***National Strategic Land Use & Development Framework**

| | |
|-----------------------|---|
| SSLUDP | <p>The Plan sets out the long-term spatial planning framework for the country up to 2040. It guides the amount and location of development, helps ensure infrastructure provision is aligned with growth locations, and provides a tool for coordinated decision-making and investment. In order to do this, it:</p> <ul style="list-style-type: none"> • describes the forecast growth in population and employment; • explains the residential, tourism, industrial, office, and retail growth required and where it will be located; • outlines the strategy for each topic, which is supported by strategic diagrams and policies; • contains a greater level of detail on the locations for growth on Mahé through a series of framework plans; and • sets out how the identified proposals and projects should be implemented. |
| Mahe Framework | <p>The Overall Mahé Framework illustrates how the vision, guiding principles, and Spatial Strategy for Seychelles apply to Mahé. It will help ensure that future housing and economic growth will be accommodated sensitively, provide opportunities for all, and respond to Seychelles' unique environment, culture, and heritage. In doing so, it promotes and supports the following outcomes:</p> <ul style="list-style-type: none"> • concentration of the majority of growth in Greater Victoria and along the east coast to Anse Royale; • strengthening of the island's national and existing regional centres at Victoria, Anse Royale, Anse Boileau, and Beau Vallon and in the longer term at the future regional centres of Grande Anse, Mahé, Anse Etoile-Ile Aurore, and Anse aux Pins-Ile Soleil to ensure they provide housing, employment, and recreational facilities and the critical mass for service provision; • introduction of urban growth boundaries, which encourage intensification within existing settlements to make the best use of land and help retain the distinctiveness of places. Urban growth boundaries will be supported by strategic gaps to help reinforce settlement edges and reduce the likelihood of sprawl; • promotion of settlement centres in each district which provide a focus for employment uses and community facilities; • promotion of mixed-use development to support sustainable communities, particularly in national and regional centres; |

| | |
|------------------------------------|--|
| | <ul style="list-style-type: none"> • balance in the protection of agricultural land at Anse Royale and along the west coast with strategic release along the north and east coasts; • identification of strategic locations for industrial uses at Ile Perseverance, Providence, and New Port Industrial Estate; • promotion of the diversification of tourism offered through: <ul style="list-style-type: none"> ◦ redevelopment of older hotel sites which may become available for development within the Plan period; ◦ identifying locations for different types of tourism accommodation including eco-accommodation; and ◦ promoting strategic sites for larger hotel developments. • support for a hierarchy of protected areas to ensure the terrestrial, marine, and built environment is protected and enhanced; and • support for the provision of additional transport and utilities infrastructure and community facilities. |
| <p>Victoria Master Plan</p> | <p>The overall aspiration for Victoria is to create an attractive place to live, work, visit and invest that ensures Victoria can respond to the challenges of the 21st Century, the need to accommodate development and growth whilst protecting its environment and heritage and seamlessly blending the past with the future. The vision, combined with an understanding of the opportunities for the city and stakeholder aspirations, has resulted in the masterplan for Victoria.</p> <p>An integrated approach to the design of built form, open space networks and urban systems will lead to the creation of a sustainable place where people will want to live, work and visit.</p> <p>The projects include new development, transport infrastructure, public realm investment, and cultural facilities, and will be subject to further investigation and detailed planning prior to delivery.</p> |

SCHEDULE 5

[Regulation 16(1)]

Use Variances

Application Form

Use Variance Application Form

1. AGENT/APPLICANT INFORMATION

NAME:

ADDRESS:

.....

PROPERTY OWNER NAME(S):

.....

PHONE NUMBER:

EMAIL:

2. PROPERTY INFORMATION

DISTRICT:

PARCEL NUMBER:

AREA OF PARCEL (SQM):

ZONE/LAND USE CLASSIFICATION:

.....

ZONE OVERLAY (IF APPLICABLE):

.....

3. PROJECT DESCRIPTION

CURRENT USE:

PROPOSED USE:

Briefly describe the proposed project, including the type of use you are applying to get a variance.

REQUIREMENTS FOR ALL APPLICATIONS

A complete submittal consists of the following forms and materials. Additional Information may be requested.

Use Variance Form

Notarized Consent of property owner /Title Deed

The owner consent form is required for the following applicants:

The Applicant is not the owner of record for the subject parcel(s)

The property has multiple owners (requires signature from each owner of record); or

The applicant is a corporation or other entity (requires a signatory)

Photographs of the site of the variance request

Site plans, elevations, floor plans, or other supporting documents

The Seychelles Planning Authority will only grant a use variance if the applicant provides evidence that they meet all three legal tests below. Briefly describe how each of the three variance tests are met. Attach all supporting materials.

- (i) **Unnecessary hardship** exists only if the property owner shows that they would have no reasonable use of the property without a variance. If the property currently supports a reasonable use, the hardship test is not met and a variance may not be granted. If a variance is required to allow reasonable use of a property, only that variance which is essential to support reasonable use may be granted and no more. The alleged hardship should not be self-created and should be peculiar to the property.

A proposed use may be reasonable when it:

does not conflict with uses on adjacent properties or in the neighbourhood,
 does not alter the basic nature of the site (e.g., conversion of wetland to upland),
 does not result in harm to public interests, and
 does not require multiple or extreme variances.

Description of Hardship. Provide evidence of unnecessary hardship and describe how the alleged is not self-created.

.....

- (ii) **Unique property limitations:** Unnecessary hardship must be due to unique physical limitations of the property, such as steep slopes or wetlands that prevent compliance. The circumstances of an applicant (growing family, need for a larger garage, etc.) are not a factor in deciding variances.

Unique Circumstances of the property. Describe how alleged hardship related to the property in question is unique and does not apply to substantial portion of the zone or neighbourhood.

.....

- (iii) **No harm to public interests:** A variance may not be granted which results in harm to public interests such as:

Promoting and maintaining public health, safety, and welfare
 Protecting water quality
 Protecting biodiversity and wildlife habitat
 Maintaining natural scenic beauty
 Minimizing property damages
 Ensuring efficient public facilities and utilities
 Requiring eventual compliance for nonconforming uses, structures, and lots
 Any other public interest issues

Description of the Preservation of Public Interest. Provide evidence.

.....

4. DISCLOSURE AFFIDAVIT

I certify that the information provided above is true and accurate to the best of my knowledge:

PROPERTY OWNER OR APPLICANT NAME:

PROPERTY OWNER OR APPLICANT SIGNATURE:

DATE:

5. OFFICIAL USE ONLY *(To be completed by Planning Officer)*

DATE APPLICATION RECEIVED:

.....

APPLICATION NUMBER:

INTERNAL CHECKLIST:

- ☐ Use Variance Form
- ☐ Notarized Consent of property owner /Title Deed
 - The owner consent form is required for the following applicants:*
 - The Applicant is not the owner of record for the subject parcel(s)
 - The property has multiple owners (requires signature from each owner of record); or
 - The applicant is a corporation or other entity (requires a signatory)
- ☐ Photographs of the site of the variance request
- ☐ Site plans, elevations, floor plans, or other supporting documents
- ☐ Application Fee

DATE OF DECISION:

- ☐ Approved
- ☐ Approved with Conditions
- ☐ Refused

NAME/SIGNATURE OF PLANNING AUTHORITY OFFICER/ASSESSOR:

.....

DATE SITE VISITED:

Use Variances

Use variance conditions

[Regulation 16(2)]

| | |
|----------------------------|---|
| 1. Use Variance Conditions | <p>Use variances can be considered for:</p> <p>(i) <i>Uses not listed in Zoning Table</i> A new use class can be considered through a use variance application if it is not listed in the use class column of the zoning table.</p> <p>(ii) <i>Sui Generis Use</i> are currently “A” uses under the Zoning Table which means permitted subjected to the use complies with all development standards and requirements of referral agencies, and that an Environmental Social Impact Assessment (ESIA) is successful & satisfactorily conducted prior granting planning approval. But a use variance may also be applied.</p> <p>(iii) <i>A non-conforming use</i> can be granted under a use variance application.</p> |
| 2. Criteria | <p>To qualify for a use variance, an applicant should demonstrate proof of three main criteria:</p> <p>1. Unnecessary Hardship must be established; Unnecessary hardship exists only if the property owner shows that they would have no reasonable use of the property without a variance. If the property currently supports a reasonable use, the hardship test is not met and a variance may not be granted. If a variance is required to allow reasonable use of a property, only that variance which is essential to support reasonable use may be granted and no more. A proposed use may be reasonable when it:</p> <ul style="list-style-type: none"> • does not conflict with uses on adjacent properties or in the neighborhood, • does not alter the basic nature of the site (e.g., conversion of wetland to upland), • does not result in harm to public interests, and • does not require multiple or extreme variances. <p>2. Unique property limitations Unnecessary hardship must be due to unique physical limitations of the property, such as steep slopes or wetlands that prevent compliance. The circumstances of an applicant (growing family, need for a larger garage, etc.) are not a factor in deciding variances.</p> |

3. *No harm to public interests*

A variance may not be granted which results in harm to public interests such as:

- Promoting and maintaining public health, safety, and welfare
- Protecting water quality
- Protecting biodiversity and wildlife habitat
- Maintaining natural scenic beauty
- Minimizing property damages
- Ensuring efficient public facilities and utilities
- Requiring eventual compliance for nonconforming uses, structures, and lots
- Any other public interest issues

MADE this 23rd day of October, 2023.

BILLY RANGASAMY
MINISTER OF LANDS AND HOUSING

S.I. 92 of 2023

PHYSICAL PLANNING ACT, 2021

(Act 55 of 2021)

Physical Planning (Fees) Regulations, 2023

Arrangement of Regulations

Regulations

1. Citation
2. Payment of fees
3. Exemptions
4. Repeal of S.I 35/1975

SCHEDULES

- A. Fees for Different Categories of Development Application**
- B. Fees for Different Categories of Development Application**
- C. Fees Applicable for Other Matters**

S.I. 92 of 2023**PHYSICAL PLANNING ACT, 2021***(Act 55 of 2021)***Physical Planning (Fees) Regulations, 2023**

In exercise of the powers conferred by section 82(2)(f) and (u) of the Physical Planning Act, 2021, the Minister of Lands and Housing makes the following Regulations —

Citation

1. These Regulations may be cited as the Physical Planning (Fees) Regulations, 2023.

Payment of fees

2. There shall be paid in respect of each application made to the Authority for planning permission under the Act a fee calculated in accordance with the Schedule to these regulations.

Exemption

3. The above fees are applicable for all applicants except for a ministry, department, or division of government or a public body that operates under an appropriation act.

Repeal of S.I 35/1975

4. The Town and Country Planning (Applications for Permission) (Fees) Regulations, 1975 is hereby repealed.

SCHEDULE**A. FEES FOR DIFFERENT CATEGORIES OF DEVELOPMENT APPLICATION**

| 1. | Residential Accommodation | | Fees (SR) |
|-----------|---|--|---------------------------|
| | (a) | Dwelling house not exceeding 125 square metres | SR500.00 |
| | (b) | Dwelling unit in terraced, flatted or any other multiple form not exceeding 125 square metres | SR500.00 |
| | (c) | Dwelling house or unit referred to in subparagraphs (a) and (b) exceeding 125 square metres but not exceeding 150 square metres | SR600.00 |
| | (d) | Dwelling house or unit referred to in subparagraphs (a) and (b) exceeding 150 square metres but not exceeding 200 square metres | SR1200.00 |
| | (e) | Dwelling house or unit referred to in subparagraphs (a) and (b) exceeding 200 square metres | SR2000.00 |
| | (f) | Exceeding 300 square metres and above | SR3000 |
| 2. | Tourism Accommodation | | |
| | (a) | Not exceeding 20 beds | SR500.00 Per Bed |
| | (b) | Exceeding 20 beds but not exceeding 60 beds | SR800.00 Per Bed |
| | (c) | Exceeding 60 beds but not exceeding 200 beds | SR1200.00 Per Bed |
| | (d) | Exceeding 200 beds but not exceeding 300 beds | SR1500.00 Per Bed |
| | (e) | Exceeding 300 beds | SR1800.00 Per Bed |
| | (f) | Staff accommodation other hotel amenities | SR50.00 per square meters |
| 3. | Commercial/ Industrial Development | | |
| | (a) | Offices, shops, factories, warehouses, wholesale centres, commercial storage, workshop, showroom, car wash, garages, mechanical workshops, commercial kiosks, customer service centres, water bottling sale yards, hatchery, abattoirs, animal enclosures, green houses, farm houses, tanks, Fish processing, aquaculture, water plants, pump houses, power plant, electrical substations. | SR50.00 per square meters |

| | | | |
|-----|---|---|----------------------------|
| | (b) | Restaurants, pubs, cafes, take-aways, bakery, butchery, bars, money changers, banks, pharmacies, health stations, clinics, hospitals, health consulting rooms veterinary hospitals, markets, funeral homes and parlours, dry cleaners, internet access facilities, post boxes, ATM's, hairdressers, barber shops, nail salons, spas, massage parlours, garden centres, florist, vehicle hire offices and vehicle sales offices, theatres, museums, exhibition centres, fuel depots, service stations, fuel stations, car parks, exhibition centres, media establishments/houses | SR100.00 per square meters |
| | (c) | Cinemas, casinos, betting halls, amusement centres, dance halls/discotheques and similar developments | SR200 per square metre |
| | | Home businesses/cottage businesses | SR500.00 Fixed |
| | (d) | Churches/Religious Assembly Halls, prayer rooms, corrective institutions, Educational Establishments, research stations, libraries, public administration buildings, community facilities-daycare centres, police stations, emergency service facilities, nursing homes, retirement centres, bus depots, bus shelter, Agricultural Developments | SR100.00 per square metre |
| 4. | Airstrips/helipads and Marinas & ports including jetties & pontoons/ boat ramps/ slipways/ wharf/ floating pontoons, dry docks | | SR10,000.00 |
| 5. | Amenity Roads and Other Forms of Access including drives and bridges | | SR50.00 per linear metre |
| 6. | Private Residential Roads | | SR25.00 per linear metre |
| 7. | Other Roads (community) | | EXEMPT |
| 8. | Community Building/ Self help Projects | | SR500.00 |
| 9. | Quarries and other Mineral Working | | SR20,000.00 |
| 10. | Reclamation | | |

| | | | |
|-----|--|---------------------------------|---------------------------|
| | (a) | Not exceeding 250 square metres | SR10.00 per sq m |
| | (b) | Exceeding 250 square metres | SR15.00 per sq m |
| | (c) | Exceeding 500 square metres | SR25.00 per sq m |
| 11. | Utilities/ Excavation works | | SR100.00 per linear metre |
| | Telecom masts & other towers (tree like), ground stations | | SR5000.00 |
| | Commercial satellite dish | | SR2000.00 |
| | Phone booths/Kiosks | | SR1000.00 |
| | STPs | | SR2000.00 |
| | Storm water drains | | EXEMPT |
| 12. | Retaining Boundary walls | | SR500.00 |
| | Rock armoring, groynes, break water | | SR1500.00 |

B. APPLICATIONS FOR CONCEPTUAL PERMISSION

| | | |
|-----|---|--|
| 1. | Residential Accommodation (All types) | SR75.00 |
| 2. | Tourist Accommodation(All types) | SR150.00 per bed |
| 3. | Commercial and Industrial Development | SR10.00 per square metre |
| 4. | Utilities/ Excavation (All types) | SR500.00 |
| 5. | Reclamation (All types) | SR2.00 per square metre |
| 6. | Community and Self-Help Projects | SR500.00 |
| 7. | Subdivision | SR50.00 per plot |
| 8. | Change of Use (All types) | SR300.00 |
| 9. | Retaining & Boundary Walls, Swimming Pool, Accesses, bridges, others | SR150 |
| 10. | Pre-Planning requests | SR250.00 |
| 11. | Request of Copies and Scanning of Planning Documents per page | A4 – SR25 A3 – SR50 A2 – SR150 A1 – SR200 A0 – SR500 |

C. FEES APPLICABLE FOR OTHER MATTERS

| 1. | Subdivisions of land | Fees (SR) |
|---------------|---|-----------------------------|
| | (a) Residential, not exceeding 3 plots | SR250.00 per plot |
| | (b) Residential, exceeding 3 plots | SR600.00 per plot |
| | (c) Agricultural purposes | SR200.00 per plot |
| | (d) Commercial, Tourism or Industrial purposes | SR1200.00 per plot |
| 2. | Change of Use | |
| | (a) To residential | As per Table A.1 As amended |
| | (b) To tourism | As per Table A.2 As amended |
| | (c) To Commercial or Industrial | As per Table A.3 As amended |
| | (d) Money Changer | SR1000.00 |
| | (e) For any other purpose | SR1000.00 |
| | (f) Use class variance fee | SR500.00 |
| 3. | Miscellaneous Minor Developments | |
| | (a) Retaining wall not exceeding 1.5 metres in height | SR 500.00 |
| | (b) Extension to house or unit referred to in A.1 (a) to (f) not exceeding 1/6 of the floor area of the existing house or unit and not exceeding 40 square metres | SR500.00 |
| | (c) Any other minor developments (carport, laundry etc.) | SR500.00 |
| 4. | CONTAINER | SR750.00 Per Container |
| 5. | Advertisement Application | SR1000.00 |
| OTHERS | | |
| 6. | Store | |
| | (a) Residential | SR250.00 |
| | (b) Commercial | SR1000.00 |
| 7. | Swimming Pool | |
| | Private | SR500.00 |
| | Commercial | SR1000.00 |

| | | | |
|-----|---|--|---|
| 8. | Re-roofing | | |
| | (a) | Residential | SR250.00 |
| | (b) | Commercial | SR600.00 |
| 9. | Temporary Workers Accommodation | | SR25.00 per square metres |
| | Permanent Workers Accommodation | | SR50.00 per square metres |
| 10. | Retrospective Application(All Categories) | | 15 times the normal application fees |
| 11. | Substitution after Approval has been granted (Residential, Commercial and Industrial) | | Repay 50% of applicable fees |
| 12. | Renewals (Only Residential Development) | | |
| | (a) | Between 3 to 5 years | Charge for processing fee only (RS250.00) |
| | | | |
| | (b) | Above 5 years | Submit fresh plans/application normal fee apply |
| | | Renewal (Commercial/Industrial/Tourism/ Agriculture) | Half of original price paid |
| | (a) | Above 5 years | Submit fresh plans/application |
| | (b) | Re-Instatement of plans | Half original planning fees paid |
| 14. | Appeals | | |
| | (a) | All Private Residential, including Boundary Wall/Fencing and Retaining Wall and storage | SR500 |
| | (b) | Small commercial projects below 250 sq metres including apartment buildings and tourism projects of less than 30 rooms | SR1000.00 |
| | (c) | Large commercial projects above 250 sq metres including apartment buildings and tourism projects and hotels above 30 rooms | SR5000.00 |

| | | | |
|------------|-----|---|---------------------|
| | (d) | Appeal against revocation or modification of permission to develop land | SR750.00 |
| | (e) | Appeal against determination of Authority with respect to a Preservation Order | SR750.00 |
| | (f) | Appeal against determination of Authority on objections and representations made with respect to Land Use Plans | SR750.00 |
| | (g) | All other Planning Refusals | SR1000 |
| 15. | | STRUCTURAL PLANS | |
| | (a) | Residential | SR1000.00 |
| | (b) | Commercial/Industrial/Tourism | SR3000.00 |
| | (c) | Roads/Accesses | SR500.00 |
| | (d) | Bridges | SR500.00 |
| | (e) | Retaining walls, any other structures | SR500.00 |
| | (f) | Submissions after structural approval has been granted. | 50% of original fee |
| 16. | | MISCELLANEOUS | |
| | | Fees for any other categories of development proposals not covered in the schedule shall be determined on the use and per linear or square metres based on the prescribed fees in the associated classes. | SR500.00 |

MADE this 23rd day of October, 2023.

BILLY RANGASAMY
MINISTER OF LANDS AND HOUSING

S.I. 88 of 2023

PHYSICAL PLANNING ACT, 2021

(Act 55 of 2021)

**Physical Planning (Control of Advertisement Structures)
Regulations, 2023**

Arrangement of Regulations

Regulations

Part A

1. Citation
2. Interpretation
3. Application for use of Advertisement
4. Public consultation
5. Advertisement master plan
6. Notification of erection or modification

Part B

**Factors in considering approval and conditions for amendments
to approval**

7. Notification of erection or modification
8. Advertisement in residential areas
9. Approval of application

Part C

Maintenance and Structural requirements

10. Responsibility for the up keeping of advertising structures
11. Construction requirements
12. Support structures
13. Placement of advertisement structure

Part D

Electrical requirements

14. Illumination requirements
15. Electrical connection

16. Prevention of interference
17. Safe electrical conduits
18. Requirement for internal illumination or electronic advertisement structures
19. Requirements for external illumination

Part E
Road traffic safety requirements

20. Requirements for external illumination
21. Third-party advertisement structure

Part F
Exemption

22. Exempted structures

Part G
Enforcement and removal of advertisement structure

23. Enforcement

SCHEDULE:

Advertisement structure guidelines and specifications and application requirements

S.I. 88 of 2023**PHYSICAL PLANNING ACT, 2021***(Act 55 of 2021)***Physical Planning (Control of Advertisement Structures)
Regulations, 2023**

In exercise of the powers conferred by section 40 and 50 read with regulation 81 of the Physical Planning Act, 2021 the Minister responsible for land use planning and development matters hereby makes the following Regulations —

Part A**Citation**

1. These Regulations may be cited as the Physical Planning (Control of Advertisement Structures) Regulations, 2023.

Interpretation

2. In these regulations —

“advertisement” means any communication published, broadcasted through any medium and in any form by itself or together with any other communication, which is used to create public interest and without prejudice to the foregoing provision includes any hoarding or similar structure used or adapted for use for the display of advertisements, and references to the display of advertisements shall be construed accordingly;

“advertising structures” includes any screen, billboard, poster, painting, fence, wall, flag, balloon, signs, placard, board or other physical structure or object erected to display an advertisement or which is in itself an advertisement.

Application for use of advertisement

3.(1) Any person intending to erect or display an advertisement structure or to alter or to add to an existing approved advertisement structure

shall make an application in writing to the Authority and the application shall be in duplicate —

(a) a site plan —

- (i) showing the site on which it is proposed that the advertisement structure is to be erected or displayed, drawn to a scale of not less than 1:200 showing clearly and accurately the position of the advertisement structure and the building, if any, to which it is to be attached;
- (ii) showing every building and the existing advertisement structure on the site, proposed landscaping, traffic advertisement structure and road traffic advertisement structure s, and the positions, with dimensions, of the advertisement structure or advertisement structure in relation to the boundaries of the site and the location of the streets abutting the site, together with its existing approved zoning conditions; and

(b) a drawing of the advertisement structure containing all relevant construction detail, including a description of the materials of which the advertisement structure is to be constructed, the colors to be used, and whether or not the advertisement structure is to be illuminated; and in the latter event, the plan shall indicate whether or not the advertisement structure is an electronic advertisement structure and, if so, full details shall be furnished.

(2) The drawing referred to in subregulation 1(b) shall be drawn to a scale of not less than 1:20.

(3) If the proposed advertisement structure is to be altered or changed at any stage during its proposed period of display, such intention must be specified in the application, together with an undertaking that every proposed change of advertisement structure will be delivered to the

Authority for its prior approval, two weeks prior to the proposed display thereof.

(4) If an advertisement structure is to be attached to or displayed on the wall or façade of a building, the Authority may require the submission of an additional drawing showing an elevation of the building in color, the details and position of the proposed advertisement structure and the details and the position of every existing advertisement structure on the building drawn to a scale of not less than 1:100, or the Authority may require a colored print of or an artist's photographic or computer generated impression of the building with the details of the proposed advertisement structure superimposed and drawn as nearly as is practicable.

(5) If the applicant is not the registered owner of the property on which the advertisement structure will be erected, the applicant shall obtain the authorisation of the registered owner of the land or building on which the advertisement structure is to be erected, indicating the owner's knowledge of and consent to the application.

(6) Upon the request of Authority; such additional drawings, calculations and other information as is necessary to enable the Authority to establish the adequacy of the proposed means of securing, fixing or supporting any proposed advertisement structure and its ability to resist all loads and forces to which the advertisement structure, advertising or billboard may be exposed and the sufficiency of the margin of safety against failure.

(7) Where in the opinion of the Authority the placement of an advertising structure may pose adverse impact on the environment, traffic or a heritage site the Authority may require the submission of —

- (a) an environmental impact assessment;
- (b) a heritage impact assessment; or
- (c) a traffic impact assessment.

(8) The Authority shall notify the applicant of any additional

information that it may require in order to process the application within 21 working days of the date of submission of the original application.

(9) The application made under subregulation 2(1) shall be accompanied by a processing fee of SCR1000.

Public consultation

4. If in the Authority's opinion, a community or portion thereof or a person may be affected by the proposed advertisement structure, it may require a public participation process prior to considering the approval, which public participation process shall comply with the Authority's policy on public participation.

Advertisement master plan

5. The Authority shall require an advertisement master plan in respect of any development where the erection of numerous advertisement structures is proposed or the rationalization of previously approved advertisement structures is required so as to allow it to consider a consistent advertisement structure master plan prior to assessment of any individual advertisement structure.

Notification of erection or modification

6.(1) Upon approving an application under regulation 2 the applicant shall notify the Authority in writing within 2 weeks after the approved advertisement structure has been erected or modified as approved.

(2) A person who fails to notify the Authority under subregulation (1) commits an offence and shall be liable to a fine pursuant to section 75 of the Act.

Part B

Factors in considering approval and conditions for amendments to approval

Consideration of application

7. In considering an application for the erection of an

advertisement structure or the display of an advertisement structure in terms of this regulation, the Authority shall have regard to the type, classification, description or specification of the advertisement structure as specified under the schedule subject to the following guiding factors —

- (a) the type of locality or landscape and the advertising opportunities pertaining to that area;
- (b) the number of advertisement structures already displayed or proposed to be displayed on the site and in the area surrounding the site concerned;
- (c) where for an application under regulation (2), the Authority is of the opinion that the recommendation and views of an Agency, Authority, Department or Division is required in order for the Authority to determine the application or that any impact assessment be required, the Authority may request recommendations and views of such entities or require the applicant to conduct such Traffic Impact Assessment, Environmental or Heritage Impact Assessment as may be applicable; and
- (d) the outcome of any process of public participation regarding the proposed advertisement structure.

Advertisement in residential areas

8. Locality bound advertisement structures placed in a residential area must relate to the lawful use of a property, provided that no such advertisement structures shall be affixed to or placed on residential premises or portions thereof other than what is necessary for home industries and other legal or temporary uses.

Approval of application

9.(1) When approving an application under regulation 2, the Authority may approve an application subjects to such conditions as the Authority may consider appropriate and notwithstanding such the authority may —

- (a) at any time, withdraw an approval granted in terms of this regulation or amend any condition or impose a further condition in respect of such approval, if an advertising structure —
 - (i) is in a state of disrepair;
 - (ii) stands empty for more than 90 consecutive days; or
 - (iii) no longer complies with any provision of these regulation or is substantially altered from the original approved application by way of either structure;
- (b) were an approved advertisement is not to be erected within 12 months from the date of approval or within such other time as is specified in the approval, such approval shall lapse, unless that period is extended in writing by the Authority prior to such lapse;
- (c) the structure supporting such sign is intentionally demolished before the expiry of the approval period, the approval shall lapse and no further sign or supporting structure may be erected or re-erected without the Authority's prior approval in terms of this regulation.
- (d) all decisions by the Authority regarding applications made in terms of this regulation shall be in writing and shall be provided to applicants within 30 calendar days of date of submission of a complete application, alternatively, if so required by the authority, within 30 calendar days of its receipt of any additional information or assessments provided to the Authority.

Part C

Maintenance and Structural requirements

Responsibility for the up keeping of advertising structures

10.(1) The owner of the advertisement structure, the media owner, the applicant to whom approval has been granted and the owner of the

property or building to which it is attached shall be jointly and severally liable for the maintenance thereof and shall undertake at least one inspection per year thereof with a view to satisfying themselves as to the safety thereof.

(2) Where any advertisement structure becomes torn or damaged or otherwise falls into a state of disrepair, the owner of the advertisement structure, the media owner, the applicant to whom approval has been granted and the owner of the property or building to whom approval has been granted or to which the advertisement structure is attached shall, within 7 working days of a notice from the Authority directing them to so do, repair the advertisement structure.

(3) The owner of the advertisement structure, the media owner, the applicant to whom approval has been granted or the owner of the property or building who fails to comply with the direction under subregulation (2) commits an offence and shall be liable upon conviction to a fine of level 3 on the standard scale.

Construction requirements

11. All advertisement structures shall be properly constructed of the requisite strength and materials and shall be secured were the structure overhangs from above a public place with the necessary redundancy and engineering approval.

Support structures

12. All advertisement structures and their support structures shall be constructed using —

- (a) incombustible, durable materials suited to the function, nature and permanence of the advertisement structure;
- (b) safety glass other than glass used in illumination at least 3 mm thick;
- (c) glass panels not exceeding 0,9 m² in area, each panel being securely fixed in the body of the advertisement structure, structure or device independently of all other panels.

Placement of advertisement structure

13.(1) No advertisement structure may be placed covering any window or opening provided for ventilation of a building or obstruct any stairway or doorway or other means of exit from the building or prevent movement of people from one part of a roof to another.

(2) No advertising structure shall be closer to overhead electrical equipment than the minimum distance as prescribed from time to time under any law.

(3) Approved wayleaves must be obtained from the public utilities company prior to any excavations for the installation of advertisement structure s or for advertisement structure s to be erected in the vicinity of overhead power lines.

(4) Advertising on bridges, towers, telecommunication masts or pylons shall not be permitted.

Part D
Electrical requirements**Illumination requirements**

14.(1) The Authority shall approve an illuminated advertisement structure, provided that the provisions of this regulation are complied with to ensure maximum energy efficiency and controlled hours of illumination and that the illumination does not constitute a road safety hazard or cause undue light spillage.

(2) Electronic advertisement structures may not be illuminated if no advertisement structure content is displayed.

(3) Electronic advertisement structures shall not have flashing images.

Electrical connection

15.(1) All advertisement structures needing an electrical connection

must preferably be supplied from the existing electrical supply on the plot where it is to be erected.

(2) If this is not possible, application for a metered electricity supply must be made to the relevant authority.

Prevention of interference

16. Every advertisement structure in connection with which electricity is used, shall be provided with suitable capacitors to prevent interference with radio and television reception.

Safe electrical conduits

17.(1) Each power cable and conduit containing electrical conductors in respect of an advertisement structure shall be so positioned and fixed so that it is safe, unseen, inaccessible and child tamper proof and animal proof.

(2) Each interior high-voltage installation that runs unattended, such as a window display, and each exterior high-voltage installation shall have a fireman's switch.

Requirement for internal illumination or electronic advertisement structures

18.(1) Internally illuminated and electronic advertisement structures containing third party advertising may only be displayed in areas of partial and minimum control and must be less than 2,1 m².

(2) The size condition under subregulation (1) may be waived, up to a maximum size of 4,5 m² in any such area upon receipt of an Environmental and Heritage Impact Assessment showing no detrimental impact will be caused by the proposed display.

Requirements for external illumination

19.(1) The light source emanating from floodlights shall not be visible to traffic travelling in either direction.

(2) Floodlights shall not be positioned so as to create any undue light spillage beyond the surface area of the advertisement structure.

Part E

Road traffic safety requirements

Road side structures

20.(1) Where an advertisement structure is to be erected by a road, and the Authority is of the view that the advertisement structure may be an unacceptable distraction for drivers or where drivers turn, negotiate curves or traffic merges, diverges or weaves, the Authority may send the details of the advertisement structure to the Road Transport Department and seek their recommendation on the application.

(2) Where the Road Transport Department is of the view that the advertisement structure is detrimental to the safe operation of traffic in the vicinity of the advertisement structure, the Authority shall refuse the application.

(3) If the recommendation under subregulation (2) proposes changes which if undertaken may allow the safe erection of the advertisement structure in that location the Authority may consider the application subject to the necessary changes as proposed by the Road Transport Department.

(4) When taking a decision under subregulation (2) or (3) the Authority shall take into consideration the following factors —

- (a) electronic advertisement structures shall not be permitted if they are visible from a highway road, gateway route or a scenic drive;
- (b) advertising on bridges, towers, telecommunication masts or pylons shall not be permitted;
- (c) advertisement structures shall not be located within 10m of the perimeter of an intersection of a road;
- (d) the graphic content of advertisement structures shall not have the potential to be visually interpreted as a road traffic

advertisement structure, due to any factor, including but not limited to the following —

- (i) any stylized or pictorial presentation of a road traffic advertisement structure or traffic advertisement structure;
 - (ii) any word, symbol, logo or other device used on a road traffic advertisement structure;
- (e) use of combinations of colors specified for road traffic advertisement structures, in a manner likely to lead to confusion;
- (f) any reflectorized paint or material;
- (g) advertisement structures may not be erected in an area where the traffic volume, the average following headway or accident history requires a higher than average degree of awareness from drivers;
- (h) advertisement structures may not be attached to or obscure a road traffic advertisement structure or traffic advertisement structure;
- (i) signs may not be erected within the road reserve of any public road unless expressly approved by the road authority;
- (j) when located at traffic intersections, advertisement structures may not have the colors red or yellow or green as main colors and shall not obscure or interfere with any road traffic advertisement structure or traffic advertisement structure;
- (k) electronic advertisement structures shall not be permitted within 10 meters of the perimeter of a traffic intersection;

- (l) flashing or running messages or variable transition messages that have a message change interval of greater than 0,3 seconds or have transition effects between message changes shall not be permitted if viewable from a public road;
- (m) static display, simple transition advertisement structures shall display a complete frame for an information cycle length of not less than 60 seconds when visible from a traffic intersection and 30 seconds at other locations.

Third-party advertisement structure

21. All third-party advertisement structures larger than 4,5 m² erected adjacent to a public road intended to advertise to persons using main public roads must be spaced a minimum specified distance from any other advertisement structure or road traffic advertisement structure, such distance measured parallel to the centre line of the roadway, in accordance with Table 1.

Table 1: Linear spacing between advertisement structures.

Note the following measurements needs to be revised to meet Seychelles situation

| Case | Spacing required when visible to traffic on a road with a speed of: | | |
|---|---|------------|------------|
| | ≤ 60 km/h | 61-80 km/h | 81-120km/h |
| Where an advertising advertisement structure follows a road advertisement structure | 380m | 425m | 475m |
| Where an advertising advertisement structure follows an advertising advertisement structure | 310m | 360m | 410m |
| Where an advertising advertisement structure precedes a road advertisement structure | 40m | 70m | 100m |

Part - F

Exemption

Exempted structures

22.(1) Subject to compliance with the conditions pertaining thereto or set out hereunder, the Authority's approval is not required for the following advertisement structures —

- (a) To let or for sale advertisement structures:

These include any advertisement structure not exceeding 400 mm x 500 mm in total area displayed at existing premises or at properties upon which a new building is being erected and relating to accommodation being offered to rent or purchase in the building, on condition that any such advertisement structure shall be removed within 60 days after the date upon which the accommodation to which it relates is capable of occupation;

- (b) On premises business advertisement structures:

These include any unilluminated advertisement structure not projecting over a public road and not exceeding 0, 2 m² in total area notifying only the types of trade, business, industry or profession lawfully conducted by any occupant or permanent resident of the premises to which it is attached, the name of such occupant, the type of activity, the address and telephone number of such premises and the hours of attendance (if any); provided that only one such advertisement structure per occupant may be displayed.

- (c) Window advertisement structures:

These include any locality bound advertisement structures which are temporarily or permanently painted on or attached to the window glass of a building used for commercial, office, industrial or entertainment purposes, or any other temporary or permanent advertisement

structure which is displayed within 2 meters of any window or external opening through which it can be seen from the outside such a building, on condition that no windows advertisement structure shall exceed 4, 5m².

- (d) Advertisement structures incorporated in the face of a building:

Any advertisement structure forming an integral part of the fabric of a building (but excluding a painted advertisement structure or an advertisement structure affixed in any manner onto the building), on condition that no such advertisement structure shall exceed 6 m² in total area.

- (e) Advertisement structures on sports fields:

Except when visible from scenic drives, any advertisement structure erected around the perimeter of a sports field, to a maximum size of 2 x 1 m each, provided that larger advertisement structures which face inwards onto the field and are not visible from any other public place, shall also be permitted.

- (f) Security Advertisement structure:

Any security advertisement structure not projecting over a public road and not exceeding 0,2 m² in total area indicating either that a security watch scheme is in operation or that a security company has been contracted to protect the premises on which the advertisement structure is displayed, on condition that:

- (i) only one such advertisement structure is displayed on any public road or each street frontage of such premises and;
- (ii) the said advertisement structure displays only the name, logo, address and telephone number of a security company contracted to protect the premises on which the advertisement structure is displayed.

(2) Sponsored, commercially sponsored and non-profit body advertisement structures less than 4.5 m²:

- (a) any such advertisement structure whether erected by or in connection with a nonprofit body or not; not exceeding 4.5m² in total area on condition that no more than 5% of the total surface area of the advertisement structure is used for third party advertising; and the advertisement structure is not illuminated, and furthermore provided that only one such advertisement structure shall be permitted per plot;
- (b) advertisement structures which comply with provisions of section 62.1 shall, when erected on state land, only be erected once agreement has been concluded with the authority, wherein the extent of the community or public benefit as jointly agreed between the state department responsible for the premises and/or land has been agreed and the terms of the erection of the advertisement structure agreed, and a copy of the agreement lodged with the environmental management branch or its successor in title, of the Authority.

(3) Advertising flags shall only be displayed on flag poles, provided that no more than 3 flag poles of 3 m each in total height, shall be permitted on any one property on which they are displayed.

Part G

Enforcement and removal of advertisement structure

Enforcement

23.(1) The Authority may, in regards to any advertisement structure erected or displayed in contravention of these regulations, take action pursuant to Part VI of the Act by serving a notice on the owner or lessee of the advertisement structure, or the land owner on whose land the advertisement structure is erected or displayed, or person whose product or services are advertised, calling upon such person to remove such advertisement structure or carry out such alteration thereto or do such work as may be specified in such request or notice, within a time frame specified therein.

(2) Should the Authority's demands, as set out in the notice, not be carried out within the time period specified therein, the Authority may, without further notice to the person upon whom the notice was served and after obtaining relief from the appropriate court on an ex parte basis, remove or alter the advertisement structure or do such work as may be specified in such notice.

(3) Any costs incurred by the Authority in removing advertisement structures, or in doing alterations or other works required in terms of a notice, shall be recovered from the person on whom the notice was served.

(4) Notwithstanding any other clause in these regulation, if an advertisement structure is, or is reasonably considered to be a danger to life or property, by a duly authorised employee of the Authority, acting in connection with this regulation, the Authority itself may, without prior notice and without a court order; carry out or arrange for the removal of such advertisement structure.

(5) Any costs incurred by the Authority in carrying out or arranging for the removal of such advertisement structure may be recovered from the owner or lessee of the advertisement structure, or the landowner on whose land the advertisement structure was erected, or the person whose product or services were advertised, jointly and severally.

SCHEDULE

[Regulation 7]

Advertisement structure guidelines and specifications and application requirements

- 1. For the purposes of considering an application for approval of an advertising structures the following classification provided in Table A shall be used along with the following descriptions, types, approval and conditions provided in Colum 2, 3, 4 and 5.**
- 2. Any advertisement structures not specifically provided for in this schedule shall be considered and assessed by the Authority based on the principles and factors specified under Part A and B of this regulation.**

TABLE A

| CLASSIFICATION OF ADVERTISEMENTS | | | | |
|----------------------------------|---|---|------------------------------------|---|
| 1. CLASS | 2. DESCRIPTION | 3. TYPES | 4. Approval | 5. Conditions |
| I | <i>Functional advertisements of Government departments and persons or bodies acting under statutory powers.</i> | <ul style="list-style-type: none"> Any of the listed types of advertisement structures | No approval required. | <ul style="list-style-type: none"> Such advertisements shall comply with the regulations issued by the Planning Authority. |
| II | <i>Miscellaneous advertisements relating to premises on which they are displayed.</i> a) Advertisements for the purposes of identification, direction or warning with respect to the land or buildings on which they are displayed. | <ul style="list-style-type: none"> Wall advertisement structures | Minor Works (Planning Application) | <ul style="list-style-type: none"> Application showing the location, size, color and type of advertisement structure should be submitted to the Planning Authority. |
| | | <ul style="list-style-type: none"> Verandah advertisement structures | No approval required. | <ul style="list-style-type: none"> Such advertisements shall comply with the regulations issued by the Planning Authority. |
| | | <ul style="list-style-type: none"> Freestanding advertisement structures | No approval required. | <ul style="list-style-type: none"> Such advertisements shall comply with the regulations issued by the Planning Authority and should not obstruct pedestrian or vehicular passage. |

| | | | | |
|--|--|--|-----------------------|--|
| | <p>b) Advertisements relating to any person, partnership or company separately carrying on a profession, business or trade at the premises where any such advertisement is displayed. Limited to one advertisement, in respect of each such person, partnership or company.</p> | <ul style="list-style-type: none"> • <i>Marquee Advertisement structures</i> | No approval required. | <ul style="list-style-type: none"> • As this type of advertisement structure may form part of the Building Advertisement structure it may be illustrated in the full planning application of the proposed building. |
| | <p>c) Advertisements relating to any institution of a religious, educational, cultural, recreational or medical or similar character situate on the land on which any such advertisement is displayed. Limited to one advertisement, in respect of each such premises</p> | <ul style="list-style-type: none"> • <i>Projecting advertisement structures</i> | No approval required. | <ul style="list-style-type: none"> • Such advertisements shall comply with the regulations issued by the Planning Authority. |

| | | | | |
|-----|---|--|---|--|
| III | <p><i>Advertisements of a temporary nature.</i></p> <p>a) Advertisements relating to the sale or letting of the land on which they are displayed; limited, in respect of each such sale or letting, to one advertisement per parcel.</p> <p>b) Advertisements relating to the carrying out of building or similar work on the land on which they are displayed, not being land which is normally used, whether at regular intervals or otherwise, for the purpose of carrying out such work; limited to one advertisement.</p> | <ul style="list-style-type: none"> • <i>Construction advertisement structures</i> | No approval required. | <ul style="list-style-type: none"> • Such advertisements shall comply with the regulations issued by the Planning Authority and should not obstruct pedestrian or vehicular passage. |
| | | <ul style="list-style-type: none"> • <i>Banner advertisement structures</i> | No approval required. | <ul style="list-style-type: none"> • Such advertisements shall comply with the regulations issued by the Planning Authority and should not obstruct pedestrian or vehicular passage, thus maximum height and minimum distance from the road needs to be respected. |
| | | <ul style="list-style-type: none"> • <i>Portable advertisement structures</i> | Approval /consultation required from the department responsible for road transport where necessary. | <ul style="list-style-type: none"> • Such advertisements should comply with the regulations issued by the Authorities responsible and should not obstruct or cause any danger to pedestrians or vehicles. In cases where such advertisement structures are mounted onto a vehicle or displayed on a tailor, permission or approval from the authority responsible for land transport is required. |

| | | | | |
|--|---|--|---|--|
| | c) Advertisements announcing any local event of a religious, educational, cultural, social or recreational character, and advertisement relating to any temporary matter in connection with an event or local activity of such a character, not in either case being an event or local activity promoted or carried on for commercial purposes; limited to one display of advertisements occupying an area on any premises. | • <i>Sandwich board advertisement structures</i> | No approval required. | <ul style="list-style-type: none"> • Such advertisements should comply with the regulations issued by the Authorities responsible and should not obstruct or cause any danger to pedestrians or vehicles. • Such advertisement structures shall be removed upon the termination of the activity. |
| | | • <i>Window advertisement structures (posters, stickers etc....)</i> | No approval required. | • Window advertisement structures such as posters should not totally obstruct the visual into or outside a building, thus the maximum coverage area should be maintained. |
| | | • <i>Billboard advertisement structures</i> | Full planning application required. | • Such billboards shall comply with the regulations issued by the Planning Authority and shall be removed upon the termination of the work or event. |
| | d) Advertisements announcing any political event, local and national elections and gatherings. | <ul style="list-style-type: none"> • <i>Wall advertisement structure</i> • <i>Banner</i> • <i>Billboard</i> • <i>Posters</i> • <i>Portable advertisement structures</i> | No approval required from the Planning Authority. | • Such advertisements shall comply with these regulations issued by the Planning Authority and the regulations of the electoral commission and those of the authority responsible for land transport. |

| | | | | |
|----|---|--|-------------------------------------|---|
| IV | <p><i>Advertisements on business premises.</i></p> <p>Advertisements displayed on business premises wholly with reference to all or any of the following matters: the business or other activity carried on, the goods sold or services provided, and the name and qualifications of the person carrying on such business or activity or supplying such goods or services, on those premises:</p> <p>Provided that the space which may be occupied by such advertisements on any external face of a building shall not exceed one twelfth of the overall area of that face up and the area occupied by any such advertisement, howsoever affixed to a building, shall be computed as if the said advertisement as a whole were displayed against the face of the building.</p> | <ul style="list-style-type: none"> • <i>Billboard advertisement structures</i> | Full planning application required. | <ul style="list-style-type: none"> • Such billboards should comply with the regulations issued by the Authorities responsible. • Such advertisement structures must not at any time be larger than the permitted size. • Colors should not cause visual clutter. • The location of such advertisement structures would thoroughly be assessed by the authorities responsible. |
| | | <ul style="list-style-type: none"> • <i>Wall advertisement structures</i> <ul style="list-style-type: none"> a) <i>Painted directly onto wall</i> b) <i>Printed, painted or mounted onto surfaces Other than the wall.</i> | Minor Works (Planning Application) | <ul style="list-style-type: none"> • Application showing the location, size, color and type of advertisement structure should be submitted to the Planning Authority. • Murals painted on walls of governmental institutions such as schools are to be exempted from such a classification. • Murals may not be painted onto walls facing roads or highways of which a person or company is the owner. |

| | | | | |
|--|--|--|-------------------------------------|--|
| | | | | <ul style="list-style-type: none"> • The colors to be used for advertisement structures which are to be painted directly onto the walls which are close to roads or highways must not be too bright or used excessively so as to create visual distraction for drivers and pedestrians. • The authority responsible reserves the right to suggest a change of color or size of any painted wall advertisement structure. |
| | | <ul style="list-style-type: none"> • <i>Projecting advertisement structures</i> | No approval required. | <ul style="list-style-type: none"> • Such advertisements shall comply with the regulations issued by the Planning Authority. |
| | | <ul style="list-style-type: none"> • <i>Roof advertisement structures</i> | Minor Works (Planning Application). | <ul style="list-style-type: none"> • Application showing the location, size, color and type of advertisement structure should be submitted to the Planning Authority. • No advertisement structures should be erected beyond the roofline of any building under which there is circulation of pedestrians or vehicles. |

| | | | | |
|--|--|--|-------------------------------------|---|
| | | <ul style="list-style-type: none"> • <i>Electronic advertisement structures</i> | Full planning application required. | <ul style="list-style-type: none"> • Electronic advertisement structures are to be located exclusively within the interiors of the following specific public areas/buildings: <ol style="list-style-type: none"> a) International Airport b) Sports Complexes c) Bus terminals d) Public malls • Under no circumstances must such advertisement structures be placed on the exterior of any building except for those of CLASS I of the classification. |
| | | <ul style="list-style-type: none"> • <i>Digital advertisement structures</i> | Full planning application required. | <ul style="list-style-type: none"> • Digital advertisement structures are to be situated on commercial corridors, industrial business and along specific advertisement structure road ways and locations. |
| | | <ul style="list-style-type: none"> • <i>Window advertisement structures</i> | No approval required. | <ul style="list-style-type: none"> • Window advertisement structures such as posters should not totally obstruct the visual into or outside a building, thus the maximum coverage percentage as specified in the regulation should be maintained. |

3. Application for advertisements which require a planning application should contain the following information:

- (a) give accurate metric dimensions of the height from natural ground level to the base of the proposed advertisement in meters.
- (b) give accurate metric dimensions of each proposed advertisement; if less than one meter in any dimension, please specify size in millimeters.
- (c) give metric dimensions of the letters, figures or symbols in each of the proposed advertisement.
- (d) give details of colors proposed.
- (e) specify the materials of the proposed advertisement structure.
- (f) state maximum distance each advertisement projects from the face of the building on which it is proposed to place the advertisement.
- (g) where an advertisement is to be illuminated, details of the illumination.
- (h) where necessary a site plan showing the proposed location (relative to property lines, existing structures, and pedestrian and or automobile circulation area) may be required.

4. Advertisements which does not require an application

Any advertisement structure inside a building or other enclosed outdoor space, not attached to a window or door, which is not visible from off the site on which it is located; these would include advertisements inside a bus station or sports stadium, shopping mall or airport etc....

Advertisements announcing any political event, local and national elections and gatherings.

Traffic advertisement structures.

Any official or public notice or warning required by a valid and applicable local law, regulation or chapter, by a public utility company or by order of a court of competent jurisdiction.

Temporary advertisement structure age erected as part of a Town-recognized event.

Advertisement structure s erected on behalf of governmental departments and persons or bodies acting under statutory powers.

Advertisement structure s or lettering on buses, taxis or vehicles operating during the normal course of business.

Advertisements in the form of price tickets or markers, trade-names on branded goods, or displayed on petrol pumps or vending machines etc..... These advertisements must not be illuminated, nor exceed 0.1 m²

5. General guidelines for advertisement structure

(based on classification of guidelines based on the above classification)

(1) Advertisement structures shall:

Complement their associated building, being consistent with its architectural style, scale, articulation, proportions, materials, and color.

Be located in areas of the façade specifically advertisement structured to serve this function and should align horizontally, where possible, with major architectural features, such as building entries.

Not cover architectural details or ornamental elements.

Be constructed out of high quality, durable materials such as wood or metal.

Use icons, symbols or logos rather than words whenever possible (e.g., a shoe for a shoe store, or a bicycle wheel for a

bicycle shop); iconic or symbolic advertisement structures are encouraged to be three-dimensional.

Have a contrast between content and background so as to optimize legibility while still maintaining compatibility with building colors.

Be advertisement structured to high professional standards.

No advertisement structure shall be erected, constructed or maintained so as to obstruct any fire escape, required exit, window or door opening used as a means of egress.

No advertisement structure shall be attached in any form, shape or manner which will interfere with any opening required for ventilation such as windows.

Advertisement structures shall be located in such a way as to maintain horizontal and vertical clearance of all overhead electrical conductors, roads and highways.

(2) Advertisement structure dimensions:

The ultimate size of an advertisement structure can be a critical factor and should be assessed during the planning process. This applies to exterior advertisement structures in particular, where environmental or aesthetic concerns should be part of the criteria that are considered in determining the size and location of an advertisement structure.

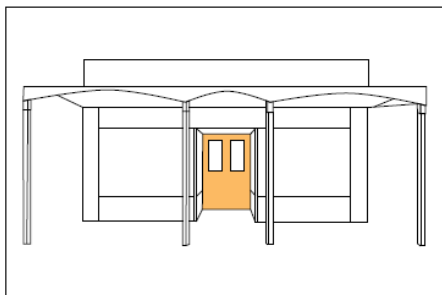
Both the character size and the length of the message determine the overall size of an advertisement structure. It follows that the size of an advertisement structure can be reduced by rephrasing the message or by selecting a different character size. Oversized advertisement structures may cause visual clutter.

6. Appropriate locations of advertisement structure age structures on buildings

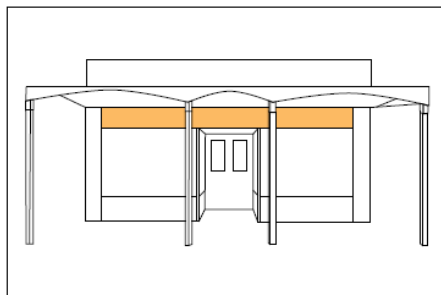
Advertisement structures should be located where they will not obscure or detract from architectural features of the building.

For instance, a window or a decorative architectural element.

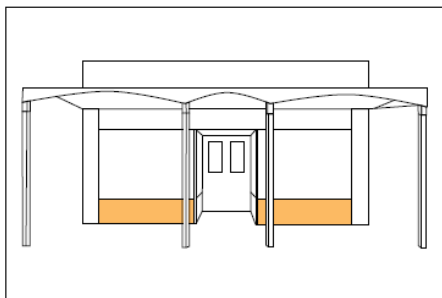
The public view to significant historic structures should be maintained.



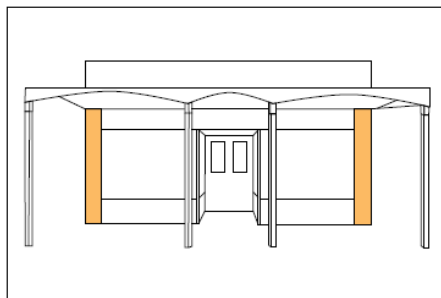
1. Sign on doorway or on door surrounds



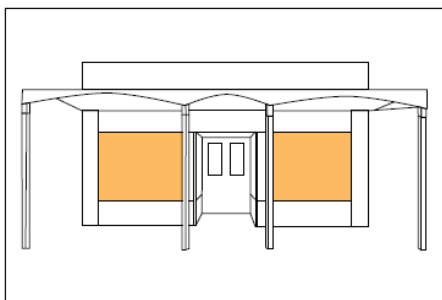
2. Sign along top of windows under verandah



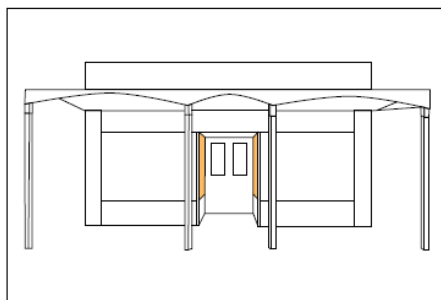
3. Sign below front windows



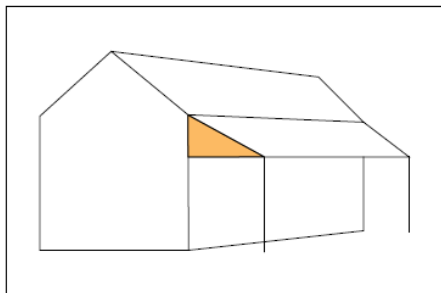
4. Sign on outer sides of windows



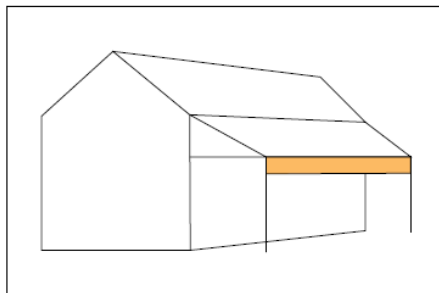
5. Sign on windows



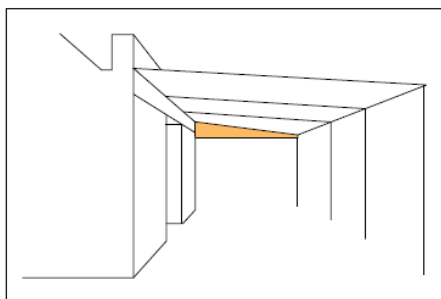
6. Sign on windows flanking passage to front door



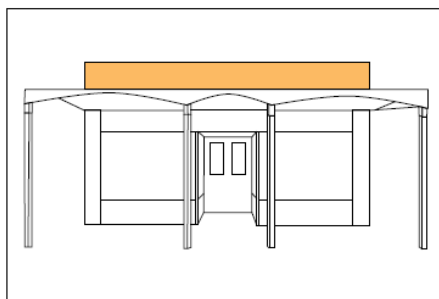
7. Sign on outside end of verandah



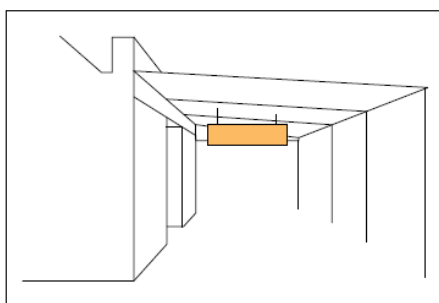
8. Sign on fascia of verandah



9. Sign on inside of end of verandah



10. Sign on parapet



11. Sign below verandah at right angles to main axis Of building

7. Guidelines pertaining to dimensions for different types of advertisement structure

WALL ADVERTISEMENT STRUCTURE

A wall advertisement structure can be commercially printed or painted. It's often considered commercial if there are any kind of symbols, trademarks, locations, telephone numbers, or any other business-related markings. Walls advertisement structure made for creative purposes are typically considered murals.

Wall advertisement structure shall:

Be no larger than 3.5m² in advertisement structure area per individual advertisement structure which may be painted, printed or mounted.

Not project more than 400mm, except for Sculptural Advertisement structure, which may project a total of 700mm.

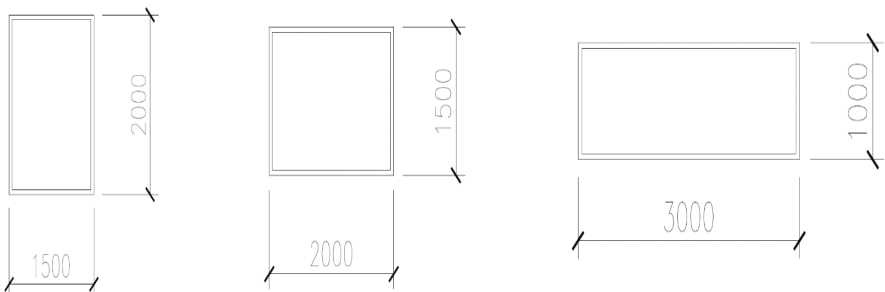
Not exceed one twelfth of the overall area of the any external face of a building and up to a height of 1120mm from ground level.

Wall advertisement structure should:

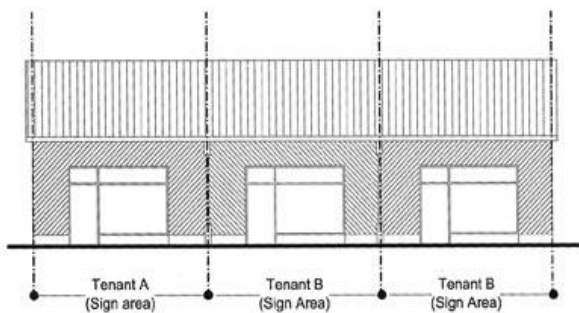
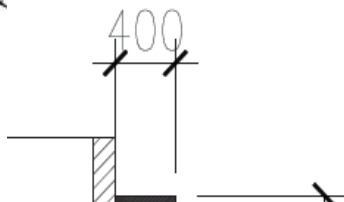
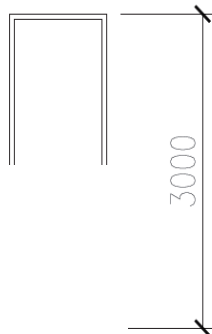
Be installed in a slender band between the first-story and second-story windows.

Emphasize horizontality, with a width-to-height ratio of at least 2:1.

Should not be mistaken for murals.



Dimension in millimeters



Dimension in millimeters



8. VERANDAH ADVERTISEMENT STRUCTURE

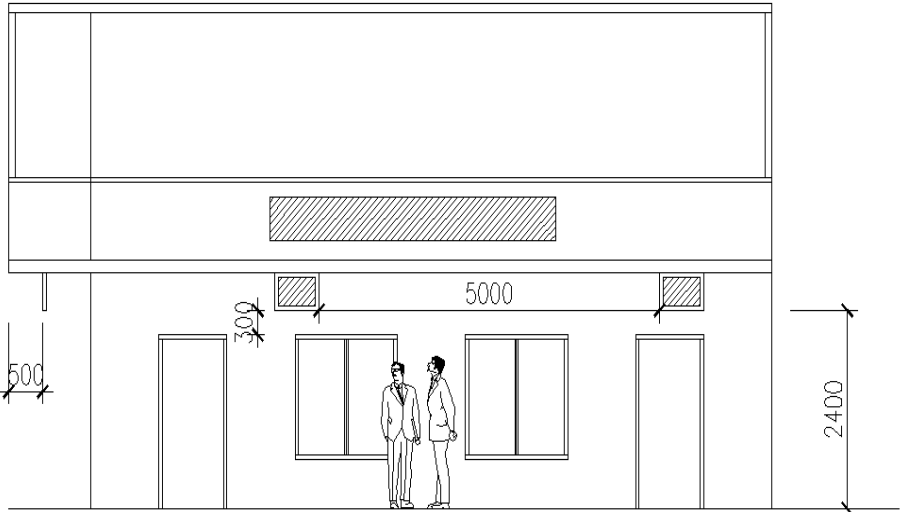
Advertisement structure on street verandahs used to identify businesses or premises.

Street verandah advertisement structure shall:

Advertisement structures on verandah fascia must be at least 2400mm above the pavement and must not protrude above the verandah roofline. Advertisement structure can be 600mm high (400mm in special character areas).

Advertisement structure below the verandah must be at least 2400mm above the pavement, must be mounted perpendicular to the front of the building, and must be no more than 400mm high.

Should be set back at least 500mm from the verandah fascia and at least 3m apart from the next under verandah advertisement structure.



Dimension in millimeters

9. WINDOW ADVERTISEMENT STRUCTURE

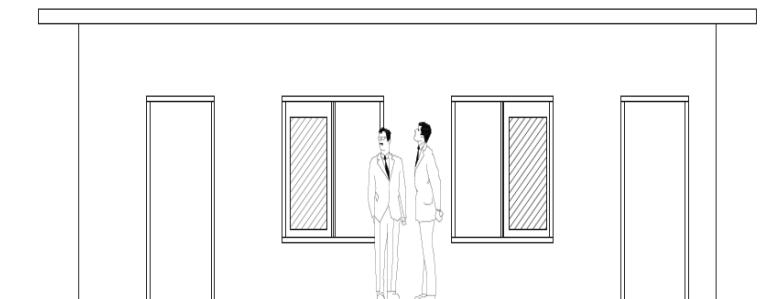
A window advertisement structure is placed, directed onto, behind, or in the direct vicinity of the window.

Window advertisement structure shall:

Such advertisement structure in combination with other window advertisement structure shall not exceed 40% of the window area on each facade. Be limited to no more than 30% of the ground-floor window area.

Be considered part of the allowable wall advertisement structure area.

Not be construed to mean items for sale, internally-oriented displays, or other temporary displays that do not substantially obstruct views into a building.



10. FREESTANDING ADVERTISEMENT STRUCTURE

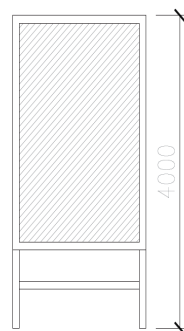
A freestanding advertisement structure is unattached to any buildings or structures and stands alone generally on a wooden or metal frame formed to support its weight.

Free standing advertisement structure shall:

Be up to 4000mm high and 4m² in area, and slightly larger in industrial zoned areas.

Be placed 5000mm away from a building and 10000mm away from another freestanding advertisement structure.

There cannot be more than four freestanding advertisement structure on any site, and not more than one advertisement structure on the road frontage of the site.



Dimension in millimeters

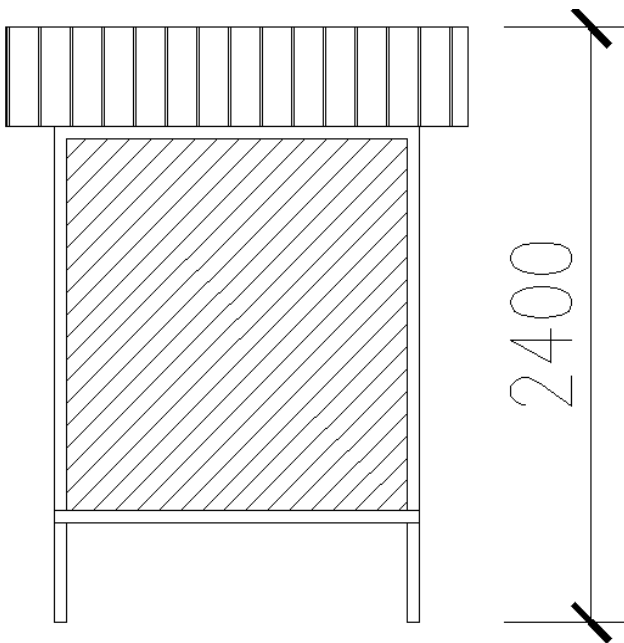
11. CONSTRUCTION ADVERTISEMENT STRUCTURE

An advertisement structure that identifies architects, engineers, contractors and other individuals or firms involved with construction on the premises, the name of the building or development, the intended purpose of the building, and/or the expected completion date.

Construction advertisement structure shall:

In single-family residential areas on projects not involving multiple lots, such advertisement structures shall not exceed 0.6m² in area and 1200mm in height and are limited to one per lot.

In all other circumstances, such advertisement structures shall not exceed 2.9m² in area and 2400mm in height.



Dimension in millimeters

12. BANNER ADVERTISEMENT STRUCTURES

A banner is a temporary advertisement structure of fabric or any no rigid material with no enclosing framework.

Banner advertisement structures shall:

Be at least 1.8m² but less than 4m² in area and all banners on the same lot shall be consistent in terms of colors and materials used.

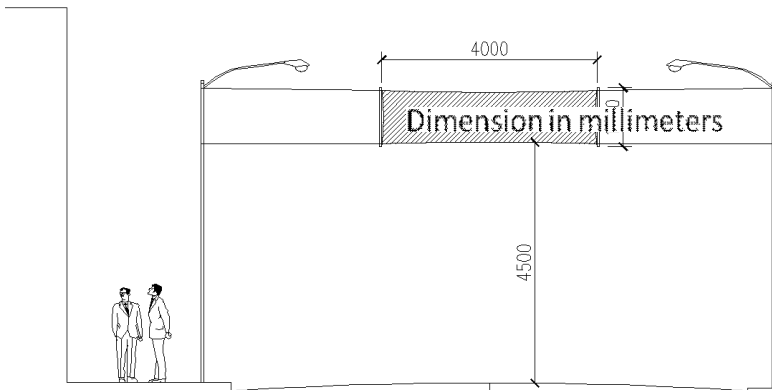
Have a minimum clearance of 2400mm and maximum height of 4500mm above the sidewalk.

Be individually attached to a pole, mast arm or other structure.

An overall advertisement structures age plan shall be approved when multiple banners are placed on a lot.

Be maintained in good condition.

Banners which are either solely decorative or are noncommercial and do not display a logo, message, statement, or expression relating to commercial interests shall not be included in the computation of total advertisement structures area on a property.



13. ROOF ADVERTISEMENT STRUCTURES

A roof advertisement structure is an advertisement structure attached to or placed onto the roof of an establishment or any other structure.

Roof advertisement structures shall:

Not exceed 10% of the area of that portion of the roof to which it is attached, as measured from eave to roof peak.

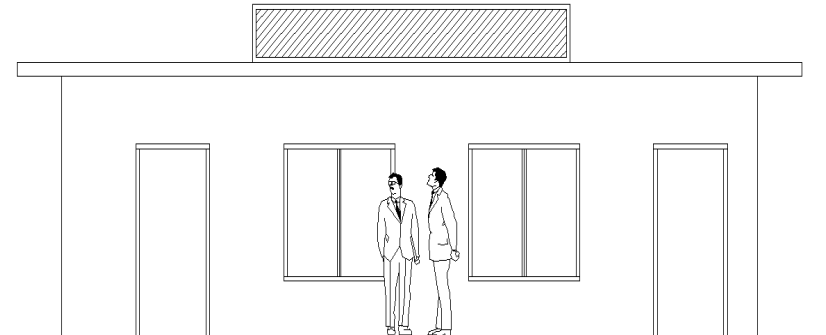
Be constructed so as to provide a clear space of at least 800mm between the roof and the lowest part of the advertisement structure and at least 600mm between the vertical supports thereof.

Be set back a minimum of 600mm from the face of the walls of the buildings on which they are erected.

Not project above the roof line.

Only be displayed on buildings containing non-residential uses and on multi-family buildings.

Or may be illuminated depending on location and approval from the planning authority.



14. PROJECTING ADVERTISEMENT STRUCTURES

A projecting advertisement structure is an advertisement structure that extends from a building.

Projecting advertisement structures shall:

Have a minimum clearance of 2400mm and maximum height of 4500mm above the sidewalk.

Not be above the road.

Extend no more than 1800mm out from the main wall surface, and have a 15cm minimum space between advertisement structure and building.

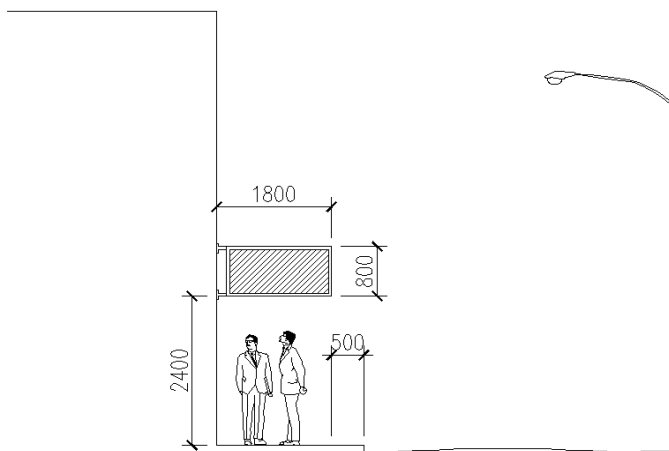
Be placed perpendicular to building façades, except at street corners where they may be placed at a 135-degree angle to both of the two intersecting façades.

Have a maximum advertisement structure area of 1.4m².

Or may be illuminated depending on location and approval from the planning authority.

Projecting advertisement structures should:

Emphasize verticality for vertical messages, with a height-to width ratio of at least 2:1 and horizontality for horizontal messages, with a width-to-height ratio of at least 1:1.



Dimension in millimeters

15. CANOPY ADVERTISEMENT STRUCTURES

A canopy advertisement structure which is a advertisement structure above any kind of protecting awning or cover found over entrances or exits of firms.

Canopy advertisement structures shall:

Be located on canopies or awnings that have a minimum clearance of 2400mm and a maximum height of 4500mm above the sidewalk.

Not be above the road.

Be painted directly onto the awning material.

Be limited to two awning surface types: vertical front, vertical sides, or sloping top.

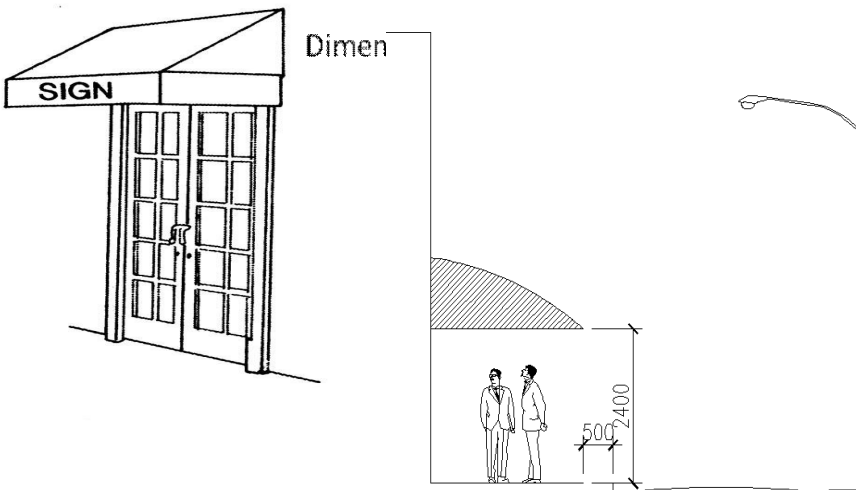
Be considered part of the total allowable wall advertisement structure area of the wall to which it is attached.

Be no more than one 300mm in height.

Extend no more than 2400mm from the building façade and shall not obstruct or prevent the placement of street trees or other improvements within the public right-of-way.

Canopy advertisement structures should:

Be placed in such a way that the canopy's primary function as a shade device is maintained.



16. MARQUEE ADVERTISEMENT STRUCTURES

A marquee is most commonly a structure placed over the entrance to a hotel, bank or theatre.

Marquee advertisement structures shall:

Only be permitted on parcels containing live performance theaters or movie theaters, casinos and hotels.

Have a minimum clearance of 2400mm and a maximum height of 4500mm above the sidewalk for the primary overhanging structure.

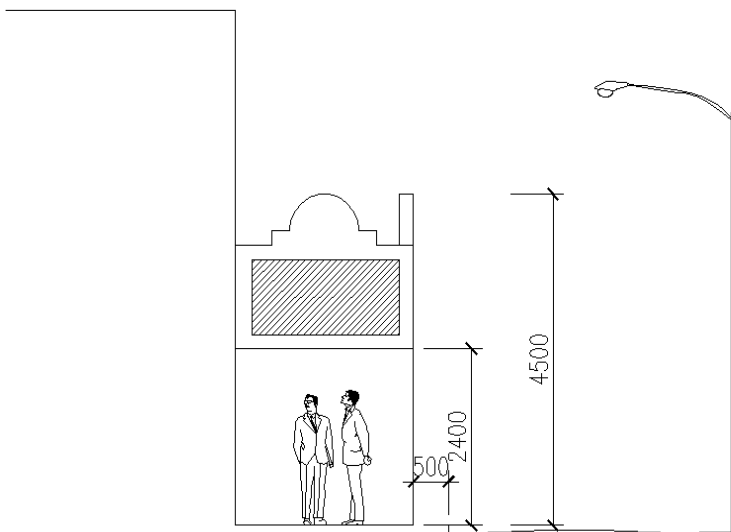
Be permitted to be backlit.

Be permitted to be, at least in part, a changeable copy advertisement structure.

Extend no more than 3m from the building façade and not obstruct or prevent the placement of street trees or other improvements within the public right-of-way.

Marquee advertisement structures should:

Be used in a limited manner so as to emphasize major destinations.



Dimension in millimeters

16. PORTABLE ADVERTISEMENT STRUCTURES

Advertisement structure intended to be moved easily and/or not permanently affixed to the ground, structure, or building.

Portable advertisement structures shall:

Be allowed on a temporary basis only for sales and/or special events.

Be limited to a single sandwich or menu board advertisement structure per business that may be placed upon a public sidewalk or plaza directly in front of the business's frontage during operating hours.

Not exceed 3m² in advertisement structure area, 900mm in width, 1200mm in height, or 1800mm in ground area.

Meet any requirements established by the Planning Authority, such as those related to construction, placement, or insurance, to ensure that such advertisement structures do not obstruct the free movement of pedestrians or otherwise constitute a public hazard.

Electronic advertisement structures

Electronic advertisement structures are the most visually intense form of advertisement structure due to its potential to display variations in light and color, movement, and changeable messages. Such advertisement structures are generally very successful in attracting and holding viewer attention due to their brightness and the expectation of new messages to come. Due to their visual intensity, electronic advertisement structures can greatly influence the visual character of the urban environment.

The main forms of advertisement structures are:

- (a) Fixed Message Electronic Advertisement structures. Advertisement structures whose basic informational content has been preprogrammed to include only certain types of information projection, such as time, temperature, predictable traffic conditions;
- (b) Variable Message Electronic Advertisement structures. Advertisement structures whose informational content can be changed, altered, or updated on a regular basis. These advertisement structures have the capability of displaying a wide variety of changeable messages including art displays, commercial advertisements, political or religious statements, and directional information.

- (c) Digital advertisement structures (illuminated and/or animated advertisement structures)

Digital advertisement structures (illuminated and/or animated advertisement structures)

Digital advertisement structures use LEDs (light emitting diodes) to display words and images that are changed by remote or automatic means. They range from single-color to full color, and from static graphics to a constantly changing video stream. The most basic types include digital fuel pricing advertisement structures and time/temperature advertisement structures. More complex examples include a business advertisement structure that advertises products and sales, a school advertisement structure that lists upcoming holidays and events, and a drive-through restaurant order screen or pre-order advertising board. Digital advertisement structures may also be referred to as Electronic Message Centers (EMCs) or Electronic Message Displays (EMDs). Installing LED and LCD screens in any location can have an impact on the physical features and electrical wiring. Mounts or platforms, electrical wiring and other cables, should be prepared beforehand for easier installation. The location should also match its purpose.



Figure 1&2 : The fuel pricing advertisement structure (left) is a simpler version of a digital advertisement structure and can only display pricing information, while the full-color digital advertisement structure (right) can display photos and images in addition to text.

Digital advertisement structures are off-premise digital structures, typically located along major roadways and used to advertise products and services available elsewhere. They include full-color images and can have complex graphics. The message can change without animation, with animation, or include video.

Objectives:

1. To allow illumination of advertisement structure age (where appropriate) and advertising of services or facilities after dark.
2. To provide pedestrian areas with additional visibility at night in a safe manner.
3. To ensure any illuminated and/or animated advertisement structures do not adversely affect pedestrian safety and accessibility, traffic safety and movement and/or visual amenity.
4. To ensure any illuminated and/or animated advertisement structures do not negatively impact on residential properties and/or the local amenity of any area.

Performance Standards:

1. Digital advertisement structures must be designed and positioned to ensure that they do not adversely affect pedestrian safety and accessibility, traffic safety and movement and/or visual amenity.
2. Where illumination can be demonstrated to be necessary, consideration of surrounding uses must be given when determining hours of illumination and intensity of lighting. The proposed hours of illumination and intensity of lighting must be provided when submitting a Development Consent Application for the proposed illuminated advertisement structure .
3. Digital advertisement structures are strongly discouraged on residential properties and properties adjacent to residential areas.
4. Any electrical wiring must be safely concealed and display a warning of the potential electrical hazard.

5. Digital advertisement structures are encouraged to be designed to eliminate shadows and promote the safety of public areas and pedestrian footpaths.
6. Illuminated and/or animated advertisement structure are discouraged within environmentally sensitive areas, particularly areas that are close to water sources (including but not limited to wetlands, rivers and the shoreline)

Location

Electronic digital advertisement structures are generally most prevalent on commercial corridors, but their proliferation raises concerns for driver distraction.

Electronic digital advertisement structures shall:

Only be permitted in urbanized, commercial corridors, in business zones, of Mahe and Praslin such as Vitoria, the Providence industrial Estate, Grand Anse Praslin Business center & Eve Island.

In addition, special considerations shall be given for display along specific locations namely: Beau Vallon, Anse Royale, Roche Caiman, Ile perseverance (industrial /commercial area), Anse Etoile, Pointe Larue (Airport), Anse-Aux Pins (central), Anse La Mouche, Takamaka, Port Launay (Bus Depot Area) and Bel Ombre (industrial area).

- Not be in close proximity to other electronic advertisement structures. (One digital advertisement structure is permitted per site. A minimum distance of **15 meters** shall be required between digital advertisement structures).

Not be mounted on or illuminate that portion of a building containing residential living units.

Not be mounted on or cover a window.

Not be permitted on any other parts / locations of Mahe, Praslin and La Digue.

Not exceed the maximum surface area of 6m^2 respecting a 2:1 ratio.

Be static.

Luminance and Illumination of Electronic Advertising Advertisement structures

Safety and Amenity

It is important that electronic advertisement structures exhibit consistent apparent brightness in all lighting conditions, by maintaining a consistent ratio between the ambient light (illuminance) and light emitted by the advertisement structure (luminance). This allows the advertisement structure to be easily read and reduces the time taken for a motorist to view the advertisement structure's content.

Advertisement structure brighter than the ambient conditions may cause greater distraction and risk to drivers due to:

Averting a motorist's attention from important traffic devices / instructions.

Temporary visual impairment where the difference in advertisement structure luminance and ambient light is disparate.

Due to the fast rate of change in ambient light during dusk and dawn periods, particular attention needs to be given to the luminance levels that are output during these periods to ensure that a consistent apparent brightness is maintained. Any change to brightness levels should be applied during a message transition, not while an image is being displayed. This removes the risk that a motorist will be distracted by changing advertisement structure brightness.

Maximum Luminance

The following values are suggested maximum values for the varying ambient lighting conditions. The final luminance levels are to be determined based on the site specific requirements, including the orientation of the advertisement structure and shading around the advertisement structure.

Daytime - 6000 cd/m^2

Dawn/Dusk - 600 cd/m^2

Night - 300 cd/m^2

Commissioning Levels

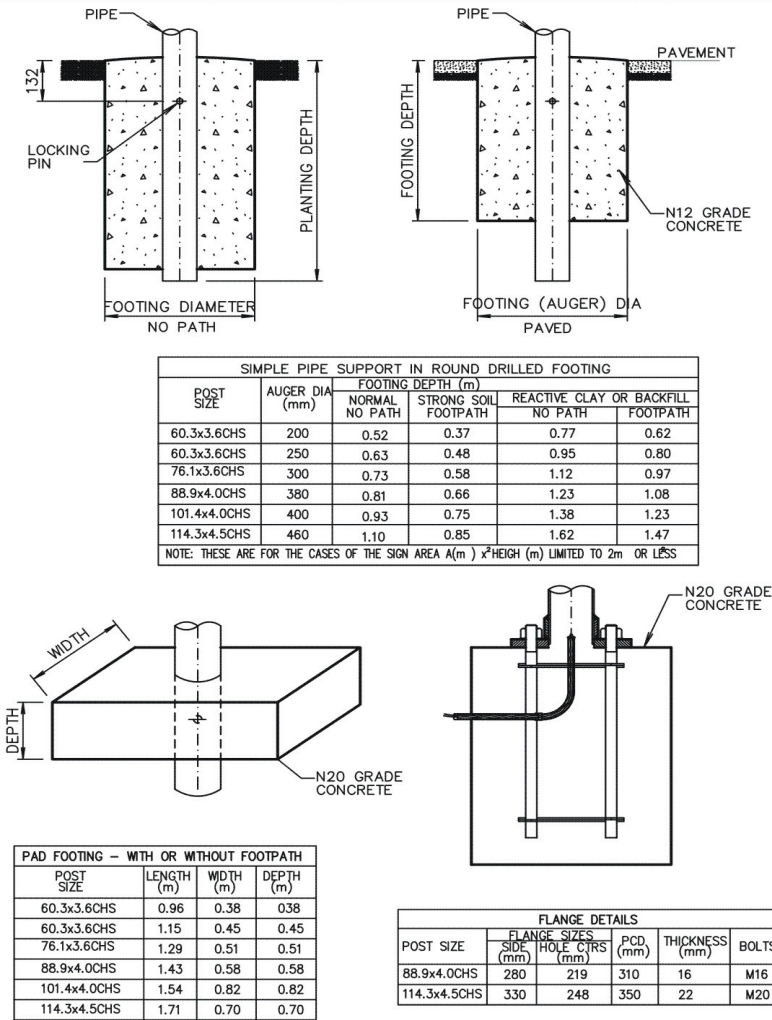
It is required that when a new device is being commissioned, the initial luminance values be set to half the recommended maximum values outlined above, and gradually increased to an appropriate level as agreed to by the Road transport Authorities.

If required, the owner/operator of the advertisement structure is responsible for shielding the electronic structure to ensure that it does not cause a nuisance to surrounding properties.

Recommendations for Digital advertisement structure with light emitting diodes:

| Name | Recommendations |
|--|--|
| I. Maximum luminance of advertisement structure surface | <ul style="list-style-type: none"> Daytime - 6000 cd/m² Dawn/Dusk - 600 cd/m² Night - 300 cd/m² |
| II. Advertisement structure location | Within 90° - 180° in relation to road surface border Unacceptable emission of light towards locations with higher risk of road collisions Outside intersections |
| III. Displaying moving images | Conditional |
| IV. Minimum advert display time | 10 seconds |
| V. Issuing permits | Temporary 2 years (upon tender) |
| VI. Visual effects and interval between consecutive images | Prohibited |
| VII. Type of displayed information (visual only) | Addresses, websites, emails, phone numbers, text message instructions, Alerts, directions. |

Structural specifications



FOOTING DETAILS FOR SIGN SUPPORT

T000540

Figure 3: Footing details for advertisement structure support

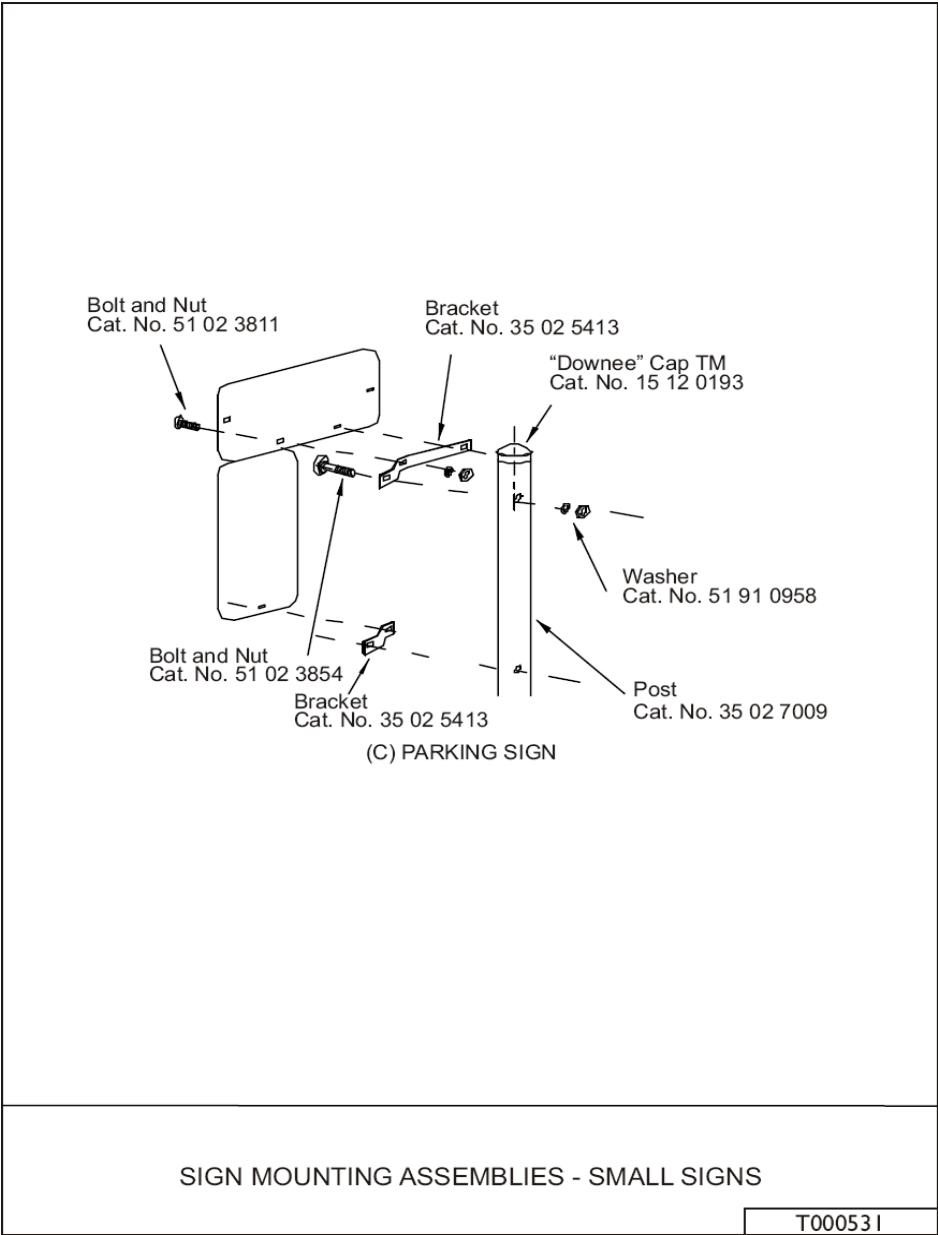
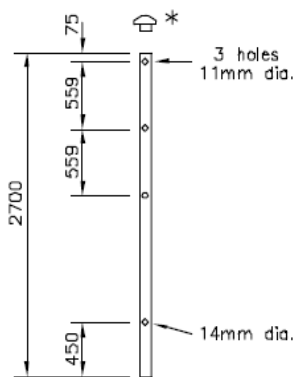
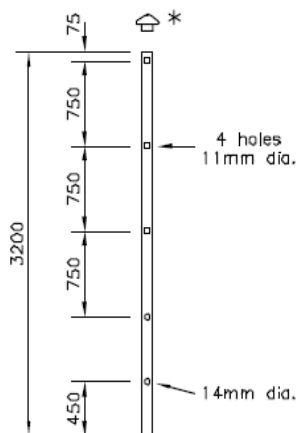


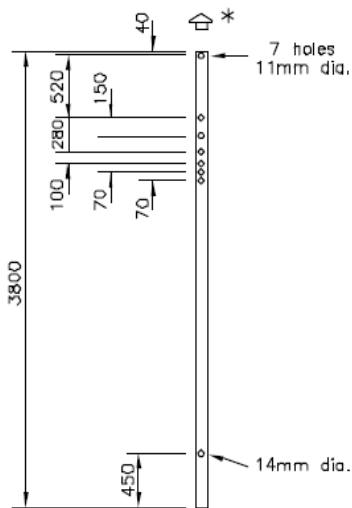
Figure 4: Advertisement structure mounting assemblies- Small advertisement structures

Figure 5: Stock predrilled -50 mm N B POSTS

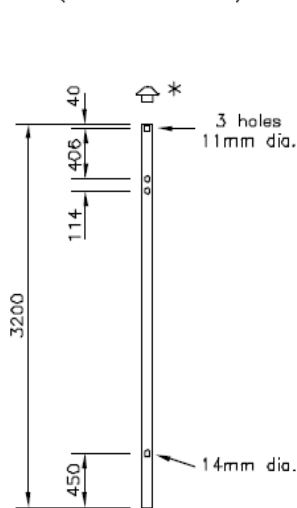
Km Post or
1m Flood Depth Indicator
(Cat. No.3503 2177)



2m Flood Depth Indicator
(Cat. No.3503 1154)



Regulatory, Warning
or Parking Sign
(Cat. No.3502 7009)



Regulatory, Warning
or Parking Sign
(Cat. No.3502 7009)

⌂ * Downee Cap to be ordered as a separate item
(Cat. No. 1512 0193)

6.9 Inspection of electronic advertisement structures

The appropriate roads authority must regularly inspect and keep an inventory of the advertisement structures on its roads and designated locations.

Inspections should review the suitability of each advertisement structure, the condition of the advertisement structure and its supporting structure as well as reviewing the need for additional advertisement structures.

Procedure for new electronic/digital advertisement structure placement

The steps involved in placing a new advertisement structure are: —

1. When the need for a new advertisement structure is perceived, determine the size of advertisement structure, its legend and position, especially with respect to the location.
2. Prepare a pre-planning assessment if required and undertake any consultation necessary.
3. Obtain formal approval for the advertisement structure in accordance with current advertisement regulations.
4. Examine the site to ensure that the advertisement structure can be placed in the specified location especially with respect to the location of services.

TOTEM ADVERTISEMENT STRUCTURE BOARDS

A totem advertisement structure is a form of freestanding advertisement structure. It consists of two basic profiles are mounted around an aluminum or steel tube profile or internal frame of the totem pylon and then, two cover profiles are mounted to the basic sections. By using square or rectangular tube profiles with different outside

dimensions and wall thicknesses it is possible to create totems with a variable depth of 100, 150 or 200 mm and a height of up to 6000mm with the same basic and cover profiles.

Totem advertisement structures shall:

Be no greater than 4000mm high and 1200mm wide.

Have a maximum surface area of 5m²

Be set back at a minimum distance of 2000mm from the edge of the road.

Totem advertisement structures may:

Not be situated along highways.

SANDWICH BOARD ADVERTISEMENT STRUCTURE

A sandwich board advertisement structure is a type of **advertisement** composed of two boards (holding a message or graphic) and being either:

Carried by a person, with one board in front and one behind, creating a "**sandwich**" effect; or

Set up (for example next to a store advertising its goods) in a triangle shape, hinged along the top.

Sandwich advertisement structures shall:

Not exceed 0.9m² per side area.

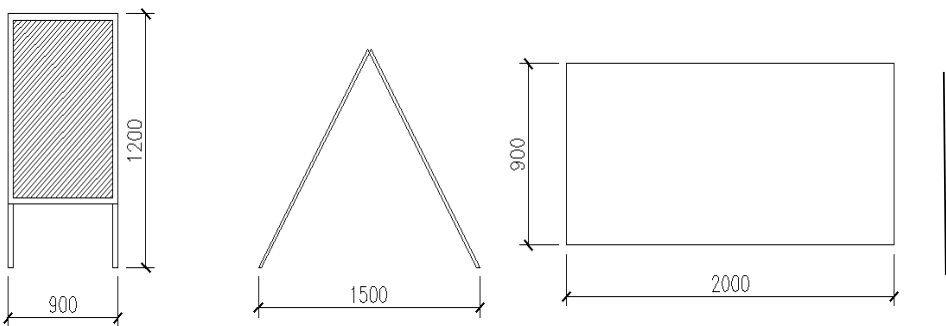
Shall not exceed two 800mm in width, with a maximum height of 1500mm. Within these specified maximum dimensions, creative shapes that reflect the theme of the business are encouraged (i.e., ice cream shops may display an advertisement structure in the shape of an ice cream cone).

Be constructed of materials that present a finished appearance. Rough-cut plywood is not acceptable.

Be located on the same parcel and within 1800mm of the building exterior of the business installing the advertisement structure and its location shall not interfere with pedestrian or vehicular circulation, including, but not limited to driveways, parking lots, rights-of-way, and public sidewalks.

The advertisement structure shall be removed at the end of the business day.

Any person erecting a sandwich board advertisement structure shall indemnify and hold harmless the government and its officers, agents and employees from any claim arising out of the presence of the advertisement structure on public property or rights-of-way.



Dimension in millimeters

BILLBOARD ADVERTISEMENT STRUCTURES

A billboard is an off-premises object, device, display, advertisement structure, or structure, or part thereof, displayed outdoors or visible from a public way, which is used to advertise, identify, display, direct or attract attention to an object, person, institution, organization, business, product, service, event or location, or to express a point of view, by any means,

including words, letters, figures, advertisement structure, symbols, advertising flags, fixtures, colors, illuminations or projected images.

All new billboards shall be no greater than 2000mm in height and 3000mm in width.

All billboards shall be no greater than 6m² in area.

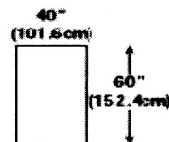
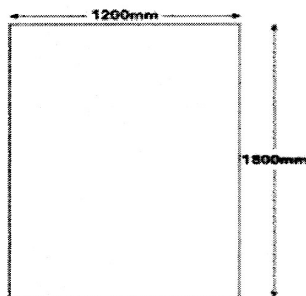
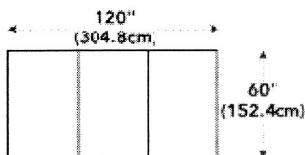
Each substantially different face of a billboard structure shall constitute a separate billboard.

Billboards do not include on-premises commercial or political advertisement structure nor small commercial or non-commercial advertisement structures temporarily placed in residential lawns by residents, owners, contractors, realtors, or by or on behalf of political candidates or issues.

An outdoor advertising advertisement structure in the form of a billboard consists of at least one display panel and its supporting framework. Billboards may be freestanding, mounted to buildings, or attached to other structures.

A billboard may be smaller than the permitted size.

| STANDARD BILLBOARD SIZES (ISO) | | |
|--------------------------------|----------|-----------------------------|
| HEIGHT(m) | WIDTH(m) | TOTAL AREA(m ²) |
| 1 | 1.5 | 1.5 |
| 1.2 | 1.8 | 2.16 |
| 2 | 3 | 6 |

4 Sheet**6 Sheet
(Bus Stop Poster)****12 Sheet****Location of commercial billboard advertisement structures**

No off-premise commercial billboards are permitted alongside highways, roads and streets. It is noted that this restriction applies to commercial billboards irrespective of types or styles.

Commercial billboards may be displayed on the premises of which a person is the owner or occupier visible from roads and highways only in the permitted areas as prescribed by the Planning Authority.

Commercial billboards within zoned commercial or industrial areas require Planning Authority approval and are subject to restrictions on location, size and distance from the road, safety and aesthetics considerations.

On Mahe **only** commercial billboards may be located in the following specific enclosed public areas:

- International airport
- Sport complexes
- Bus terminals
- Petrol stations
- Commercial Port
- Providence Industrial Estate. (Planning Authority approval required)
- Other Zoned industrial or commercial areas as may be prescribed in the schedule under the industrial act. (Planning Authority approval required)

The placements of commercial billboards at these specific locations are subject to Planning Authority approval.

Non-commercial billboards including national campaigns and electoral advertisement structures are permitted subject to restrictions on location, duration of display, limits on size, height, number.

Permitted colors for billboards

Contrasting colors must be used as billboards for long distance readability. The best color combination that provide maximum contrast on a billboard and the best visibility and readability include black on yellow, black on white, yellow on black, white on black, blue on white, white on blue, white on green, green on white, red on white and white on red.

MADE this 23rd day of October, 2023.

**BILLY RANGASAMY
MINISTER OF LANDS AND HOUSING**
